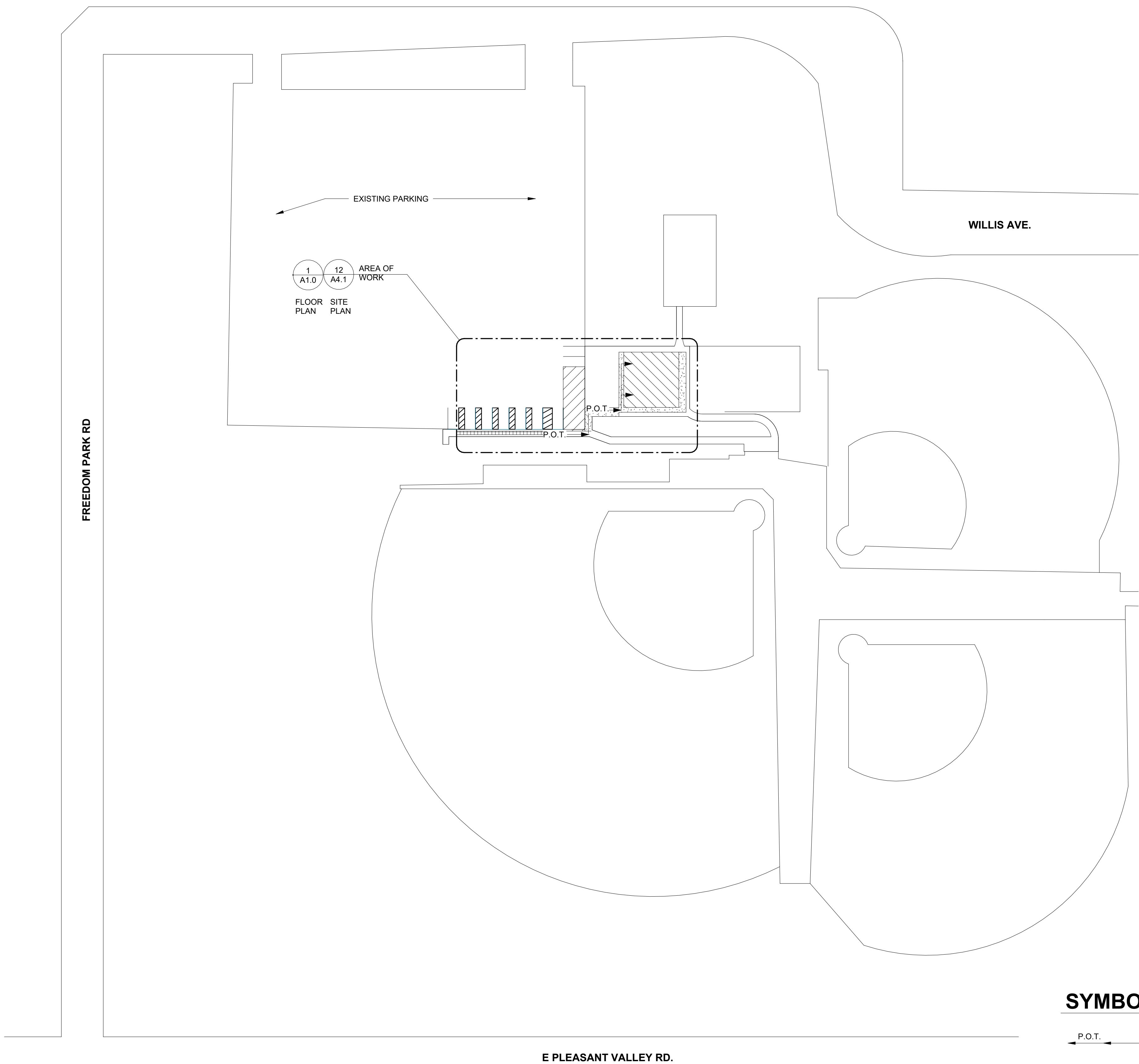


FREEDOM PARK RESTROOM AND SNACK BAR

BUILDING ACCESSIBILITY IMPROVEMENTS

PLEASANT VALLEY RECREATION AND PARK DISTRICT
275 E PLEASANT VALLEY RD, CAMARILLO, CA 93010

Revised 7/27/2026



PATH OF TRAVEL

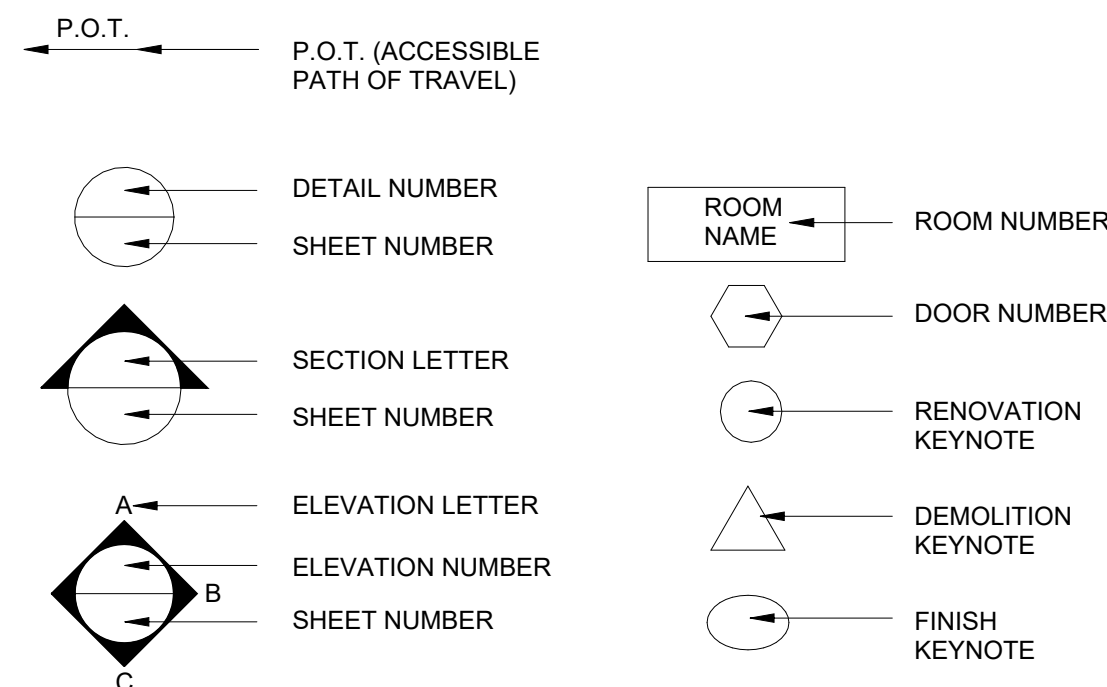
NOTE: P.O.T. P.O.T. P.O.T.
ACCESSIBLE PATH OF TRAVEL (P.O.T.) SHALL NOT EXCEED 5% MAX SLOPE AT WALKWAYS WITH 2% MAX CROSS SLOPE

11 SITE PLAN

SCALE: 1" = 50'-0"



SYMBOL LEGEND



GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING WORK, REPORTING ANY DISCREPANCIES TO THE DESIGNER.
- WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS ON THE DRAWINGS.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ALL DEMOLITION IN PREPARATION FOR NEW WORK.
- PATCH, RESTORE, AND REFINISH ALL AREAS DAMAGED BY THE CONSTRUCTION WORK AND DEMOLITION.
- REPAIR ALL TRANSITIONAL AREAS BETWEEN EXISTING AND NEW WORK DUE TO DEMOLITION.
- PROTECT EXISTING CONSTRUCTION FINISHES, ADJACENT PROPERTY, PLANTING AND TREES. PROTECT THE WORK FROM RAIN AND OTHER NATURAL ELEMENTS. REPAIR, REFINISH, OR REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION.
- NEW AND EXISTING WALLS/CEILING SURFACES SHALL BE PAINTED WHERE NOTED. SCRAPE, SAND, AND REMOVE ALL EXISTING LOOSE PAINT PER MANUFACTURER'S SPEC. AND PREPARE SURFACES FOR NEW PRIMER & PAINT. CONTRACTOR SHALL BE AWARE OF THE LEAD-BASED REPORT INCLUDED IN THE SPECIFICATIONS AND INCLUDE THE REMEDIATION AS DIRECTED.
- COORDINATE WITH ENGINEER PRIOR TO DEMOLITION FOR ITEMS TO BE SALVAGED.
- UTILITY SERVICES: CONTRACTORS AND SUB-CONTRACTORS SHALL CONFIRM LOCATIONS OF UTILITIES AND NOTIFY ALL PERSONS WORKING ON SITE OF EXISTING UTILITIES. CONTRACTOR SHALL LOCATE AND IDENTIFY ACTIVE UTILITY SERVICES AND TEMPORARY DE-ACTIVATE THEM WHEN THEY CONSTITUTE A HAZARD. LOCATION OF GAS, ELECTRIC AND WATER METERS TO CONFORM WITH UTILITY COMPANY REQUIREMENTS REGARDING DEMOLITION. CAP ALL EXISTING UTILITIES & PREPARE FOR NEW WORK AS REQUIRED.
- CONTRACTOR SHALL PROVIDE TEMPORARY TOILET IN ACCORDANCE WITH LOCAL ORDINANCES IF NO EXISTING TOILET AVAILABLE ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL GOVERNING BLDG. CODES AND CITY ORDINANCES.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE VENTURA COUNTY OR LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL BE AWARE OF THE LIMITED PRELIMINARY MICROBIAL ASSESSMENT REPORT, MOLD CONTAINING-MATERIALS REPORT IN THE SPECIFICATIONS AND INCLUDE THE REMEDIATION AS DIRECTED.
- CONTRACTOR SHALL BE AWARE OF THE ASBESTOS CONTAINING MATERIALS REPORT IN THE SPECIFICATIONS AND INCLUDE THE REMEDIATION AS DIRECTED.
- CONTRACTOR CAN PROVIDE "OR APPROVED EQUAL" MANUFACTURER FOR ALL NAMED MANUFACTURERS.

BUILDING DATA

ASSESSOR ID NO:	230-0-030-145
LOT SIZE:	1474810 (33.857 ACREAGE)
NO. OF STORIES:	1 STORIES
OCCUPANCY GROUP:	B
CONSTRUCTION TYPE:	ASSUMED TYPE III
FIRE SPRINKLERS:	NO
TOTAL SQ. FT.:	1,586 SF
AREA TO BE RENOVATED:	950 SF
USE OF BUILDING	PUBLIC RESTROOM / CONCESSION STAND

ABBREVIATIONS

&	AND	I.D.	INSIDE DIAMETER
@	ANGLE	INT	INTERIOR
#	CENTERLINE	JAN	JANITOR
1	DIAMETER OR ROUND	JT	JOINT
#	PERPENDICULAR	KIT	KITCHEN
ACC.	POUND OR NUMBER	LAM	LAMINATE
A/C	ACCESSIBLE	LAV	LAVATORY
ACOUS.	AIR CONDITIONING	LT	LIGHT
A.D.	ACOUSTICAL	MAX	MAXIMUM
ADJ.	AREA DRAIN	M.C.	MEDICINE CABINET
AL.	ADJUSTABLE	MECH	MECHANICAL
AL.	ALUMINUM	MEMB	MEMBRANE
APPROX.	APPROXIMATE	MTL	METAL
ARCH.	ARCHITECTURAL	MFR	MANUFACTURER
ASPH.	ASPHALT	MIN	MINIMUM
A.T.	ACUSTICAL TILE	MISC	MISCELLANEOUS
BD.	BOARD	M.O.	MASONRY OPENING
BITUM.	BITUMINOUS	MTD	MASONRY OPENING
BLDG.	BLOCK	MRG	MOISTURE RESISTANT
BLK	BEAM	MUL	GYP. BD.
BOT	BOTTOM	MWO	MULLION
CAB	CABINET	N	MICROWAVE OVEN
C.B.	CATCH BASIN	N	NORTH
CEM	CEMENT	N.I.C.	NOT IN CONTRACT
CER	CERAMIC	NOM	NUMBER
C.I.	CAST IRON	NOM	NOMINAL
C.L.G.	CEILING	N.T.S.	NOT TO SCALE
CLKG	CALKING	O	OVER
CLR	CLEAR	OBS	OBSCURE
CMU	CONCRETE MASONRY UNIT	O.C.	ON CENTER
COL	COLUMN	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OFF	OFFICE
CONN.	CONNECTION	OPNG	OPENING
CONST.	CONSTRUCTION	OPP	OPOSITE
CONT.	CONTINUOUS	P.A.	PLANTER AREA
C.T.	CERAMIC TILE	PRCST	PRECAST
CTR	CENTER	PL	PLATE
DBL	DOUBLE	P.LAM	PLASTIC LAMINATE
DEPT.	DEPARTMENT	PLAS	PLASTER
D.F.	DRINKING FOUNTAIN	PLYWD	PLYWOOD
DIA.	DIAMETER	PR	PAIR
DET	DETAIL	PT	POINT
DIM	DIMENSION	Q.T.	QUARRY TILE
DISP	DISPENSER	R	RISER
DN	DOWN	RAD	RADIUS
DR	DOOR	R.D.	ROOF DRAIN
DS	DOWNSPOUT	REF	REFERENCE
DWG	DRAWING	REFR	REFRIGERATOR
E	EAST	REIN	REINFORCED
EA	EACH	REQ	REQUIRED
ELEC	ELEVATION	RESIL	RESILIENT
ELEV	ELECTRICAL	RM	ROOM
EMER	ELEVATOR	R.O.	ROUGH OPENING
ENCL	ENCLOSURE	RWD	REDWOOD
EQ	EQUAL	S	SOUTH
EQPT	EQUIPMENT	SC	SOLID CORE
(E) OR EXIST	EXISTING	SCHED	SCHEDULE
EXP	EXPANDED	SECT	SECTION
EXP	EXPANSION	SH	SHELF
E.J.	EXPANSION JOINT	SHR	SHOWER
EXT	EXTERIOR	SHT	SHEET
F.A.	FIRE ALARM	SIM	SIMILAR
F.D.	FLOOR DRAIN	SPEC	SPECIFICATION
FND	FOUNDATION	SQ	SQUARE
F.E.	FIRE EXTINGUISHER	S.STL.	STAINLESS STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	S.SK.	SERVICE SINK
FIN	FINISH	STA	STATION
FL	FLOOR	STD	STANDARD
FLASH	FLASHING	STL	STEEL
FLUOR	FLUORESCENT	STOR	STORAGE
F.O.C.	FACE OF CONCRETE	STRUC	STRUCTURAL
F.O.S.	FACE OF STUD	SUSP	SUSPENDED
FRF	FIREPROOF	SYM	SYMMETRICAL
FT	FOOT OR FEET	TRD	TREAD
FTG	FOOTING	T.B	TOWEL BAR
FUR	FURRING	T.C.	TOP OF CURB
GA	GAUGE	TEL	TELEPHONE
GALV	GALVANIZED	TONG	TONGUE AND GROOVE
G.D.	GARBAGE DISPOSAL	THK	THICK
G.I.	GALVANIZED IRON	TP	TOP OF PAVEMENT
GL	GLASS	T.W.	TOP OF WALL
GND	GROUND	TYP.	TYPICAL
GR	GRADE	UNF	UNFINISHED
GR	GRADE	U.N.O.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIB	UR	URNAL
H.C.	HOLLOW CORE	VERT	VERTICAL
HDWE	HARDWARE	VEST	VESTIBULE
HM	HOLLOW METAL	W	WEST
HORIZ	HORIZONTAL	W.C.	WATER CLOSET
HR	HOUR	WID	WITHOUT
HT	HEIGHT	WP	WATERPROOF
		WSCT	WAINSCOT
		WT	WEIGHT
		W.I.	WROUGHT IRON

PROJECT DIRECTORY

OWNER
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E: MPARKER@PVRPD.ORG

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ELECTRICAL ENGINEER
ENGINEERING DESIGN ANALYSIS INC.
10061 TALBERT AVENUE, SUITE 300
FOUNTAIN VALLEY, CA 92708
CONTACT: KEVIN FRIEDMAN
P: 714-913-8393

APPLICABLE CODES

APPLICABLE STATE CODES W/ CITY OF CAMARILLO AMENDMENTS	
CALIFORNIA BUILDING CODE	2022
CALIFORNIA MECHANICAL CODE	2022
CALIFORNIA PLUMBING CODE	2022
CALIFORNIA ELECTRICAL CODE	2022
CALIFORNIA ENERGY CODE	2022
CALIFORNIA GREEN BUILDING STANDARDS CODE	2022
FEDERAL STANDARDS	
ADA STANDARDS	2010

SCOPE OF WORK

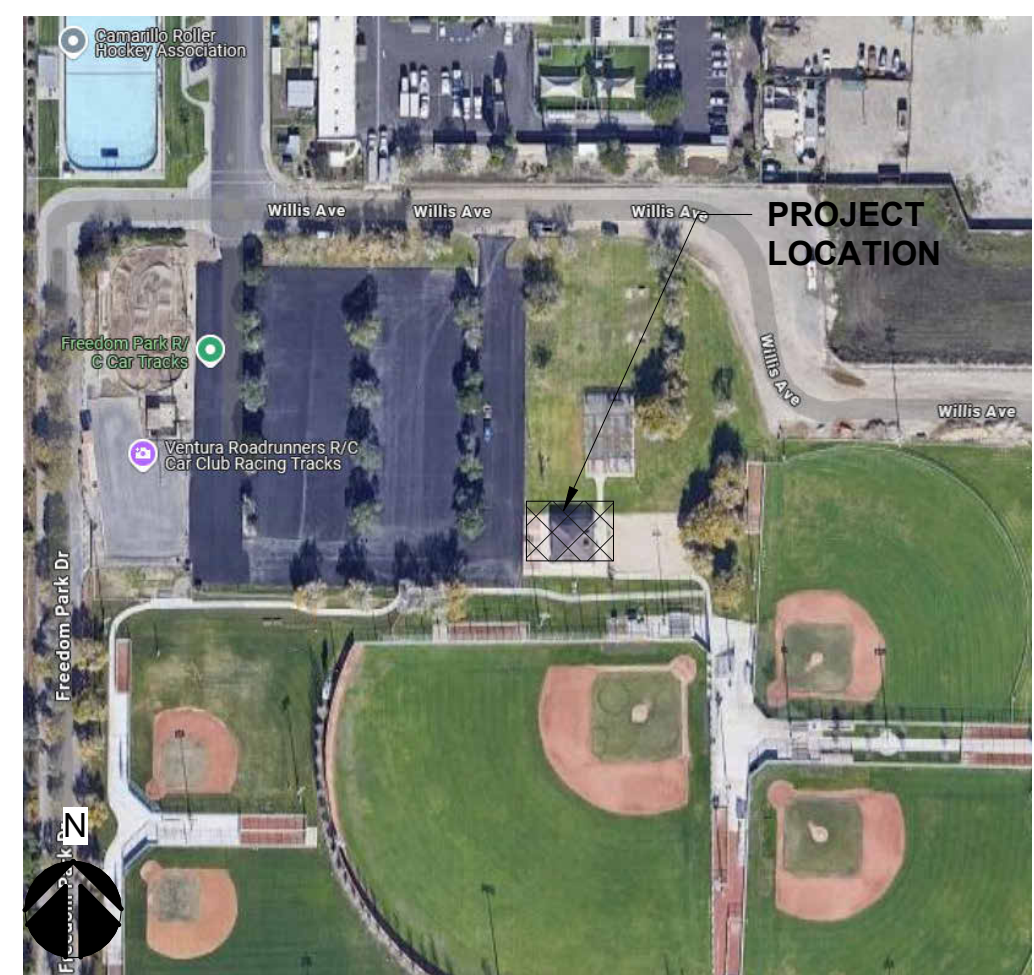
SCOPE OF WORK:

INTERIOR:
PROVIDE RESTROOM REPAIR/REMODEL AND ADA COMPLIANCE LIMITED TO THE AREA OF WORK, NEW PLUMBING FIXTURES, NEW RESTROOM ACCESSORIES, NEW FLOORING, REPLACEMENT OF LIGHTS WITH NEW LED LIGHTING FIXTURES, AND NEW RESTROOM SIGNAGE, NEW GATES, AND DOORS WITH COMPLIANT DOOR HARDWARE.

PROVIDE THE SNACK BAR REPAIR/REMODEL WITH NEW COUNTER TOPS, NEW ROLL UP DOORS, NEW SLIDING SERVICE WINDOWS, NEW DOORS, REPLACEMENT OF LIGHTS WITH NEW LED LIGHTING FIXTURES, NEW PLUMBING FIXTURES, AND REPLACEMENT OF NON-COMPLIANT KITCHEN EQUIPMENT.

EXTERIOR:
SITE: REPLACE NON-COMPLIANT WALKWAY WITH A COMPLIANT PATH OF TRAVEL TO THE BUILDING ENTRANCES FROM ARRIVAL POINTS.
BUILDING: PROVIDE NEW METAL CANOPY ON ROOF, NEW SOLAR TUBES, NEW DORMER VENTS, NEW MAKE-UP AIR, POWER WASH ALL EXTERIOR WALLS AND PROVIDE NEW PAINT FINISH.

VICINITY MAP

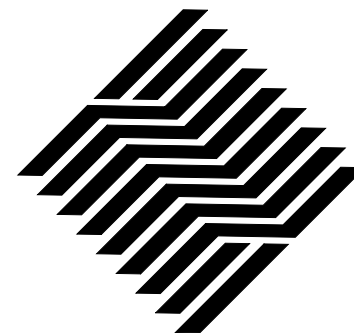


SHEET INDEX

T1.0	TITLE SHEET, VICINITY MAP, SCOPE OF WORK
A1.0	DEMOLITION / RENOVATION PLANS
A2.0	DEMOLITION & RENOVATION REFLECTIVE CEILING PLAN
A3.0	INTERIOR ELEVATION, SECTIONS, SCHEDULES
A4.0	DETAILS - DORMER VENT, LOUVERS, TOILET ACCESSORIES, SIGNAGE, & TILE
A4.1	ENLARGED SITE PLAN, METAL GATE, SHEET METAL CANOPY, & SOLATUBE DETAILS
E1.0	LEGEND, SCOPE OF WORK, DRAWING INDEX, SWITCHGEAR ELEVATION, PANEL SCHEDULE
E1.1	SINGLE LINE DIAGRAM
E1.2	PROJECT NOTES
E2.0	SITE PLAN
E2.1	POWER, LIGHTING PLAN
E3.0	TITLE 24

Architecture
Interiors
Planning

BOA



FREEDOM PARK
RESTROOM AND
SNACK BAR BUILDING
ACCESSIBILITY
IMPROVEMENTS

1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900

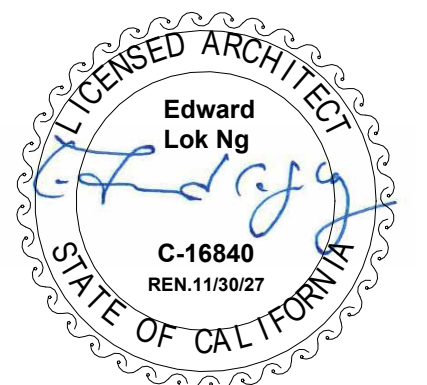
275 E PLEASANT VALLEY RD, CAMARILLO, CA 93010

NO.	DATE	REV.	BY	CHK.
1	7/27/2026	1	ELA	MLK

Designer: LA
CAD Draft: RM
Architect: LOK
Engineer: EDA
Client: PVRPD
Date Issue: 7/27/2026
Job Number: 3153

Client:

Consultant:



TITLE SHEET, VICINITY
MAP, SCOPE OF WORK

T1.0

DEMOLITION KEYNOTES

- | | |
|----|--|
| A | TYPICAL REMOVE EXISTING APPLIANCES AND KITCHEN ACCESSORIES AS NEEDED TO DO THE IMPROVEMENTS WORK UNDER THIS CONTRACT AND STORE ON A SECURE STORAGE PROVIDED BY THE CONTRACTOR ON SITE FOR RE-INSTALLATION PER RENOVATION PLAN. PROVIDE TO OWNER ANY APPLIANCES OR ACCESSORIES THAT ARE NOT TO BE RE-INSTALLED. |
| B | REMOVE EXISTING FLOOR SINK AND PREPARE FOR NEW TYPE. SEE PLUMBING FIXTURE SCHEDULE. |
| BB | REMOVE NON-FIXED SHELF UNIT AND/OR DESK, SAVE, AND PROVIDE BACK AT SAME LOCATION. |
| C | REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED FITTINGS. CAP UTILITY LINES BELOW WALL/FLOOR SURFACES AS REQUIRED. RECONNECT PIPING TO NEW FIXTURES SHOWN ON RENOVATION PLAN. PATCH AND REPAIR IMPACTED WALL/FLOOR SURFACES. |
| D | REMOVE EXISTING ROOM ID SIGNAGE FROM WALL AND PREPARE SURFACE FOR NEW PAINT. |
| F | SAWCUT AND REMOVE PORTIONS OF EXISTING CONCRETE SLAB FOR NEW CONNECTIONS SUCH AS SEWER, ELECTRICAL AND PROVIDE NEW TRENCHING AREA FOR UNDERGROUND PLUMBING, ELECTRICAL AND FOR NEW WORK. VERIFY EXTENT OF REMOVAL IN FIELD. |
| H | REMOVE EXISTING METAL DOOR AND METAL FRAME. |
| I | REMOVE EXISTING WOOD BENCH. |
| J | REMOVE EXISTING ROLL-UP DOOR, TRACKS, WINDOWS, TRIMS, AND PREPARE FOR NEW WORK. |
| K | REMOVE EXISTING TOILET PARTITION SYSTEM AND PREPARE FOR NEW WORK. |
| L | SAWCUT AND REMOVE PORTION OF EXISTING CMU PARTITION WALL AND ATTACHED ACCESSORIES. PATCH AND REPAIR IMPACTED WALL/FLOOR SURFACES. |
| M | REMOVE EXISTING FLOOR TILE. PREPARE AREA FOR NEW WORK. |
| N | REMOVE EXISTING BUILT IN COUNTERTOP/SHELF AND ASSOCIATED FRAMING/SUPPORTS AND PREPARE FOR NEW WORK. |
| O | REMOVE EXISTING FLOOR DRAIN AND PREPARE FOR NEW TYPE. |
| P | REMOVE EXISTING WALL SHELF. PATCH AND REPAIR IMPACTED WALL/FLOOR SURFACES. |
| Q | REMOVE EXISTING MULTIPLE METAL TIER STORAGE SHELF UNIT. |
| R | REMOVE EXISTING QUARRY COVE BASE WALL TILE AND SUBSTRATE ONLY AS NEEDED AT IMPROVEMENT AREA TO ACCOMMODATE NEW WORK. |
| S | REMOVE EXISTING HOSE BIB AND PREPARE FOR NEW TYPE. |
| T | REMOVE EXISTING SINK AND ASSOCIATED FITTINGS. CAP UTILITY LINES BELOW WALL/FLOOR SURFACES AS REQUIRED. SAVE SINK FIXTURE, AND PREPARE FOR RE-INSTALLATION PER RENOVATION FLOOR PLAN. PATCH AND REPAIR IMPACTED WALL/FLOOR SURFACES. |
| U | REMOVE EXISTING WALL MOUNTED MIRROR. |
| V | TYPICAL REMOVE NON-CERTIFIED REFRIGERATORS AS DIRECTED BY THE HEALTH DEPARTMENT. |
| W | REMOVE EXISTING SOAP DISPENSER. |
| X | REMOVE EXISTING HAND DRYER. |
| Y | REMOVE EXISTING TOILET PAPER DISPENSER OR SANITARY NAPKIN DISPOSAL. |
| Z | REMOVE EXISTING GRAB BAR. |

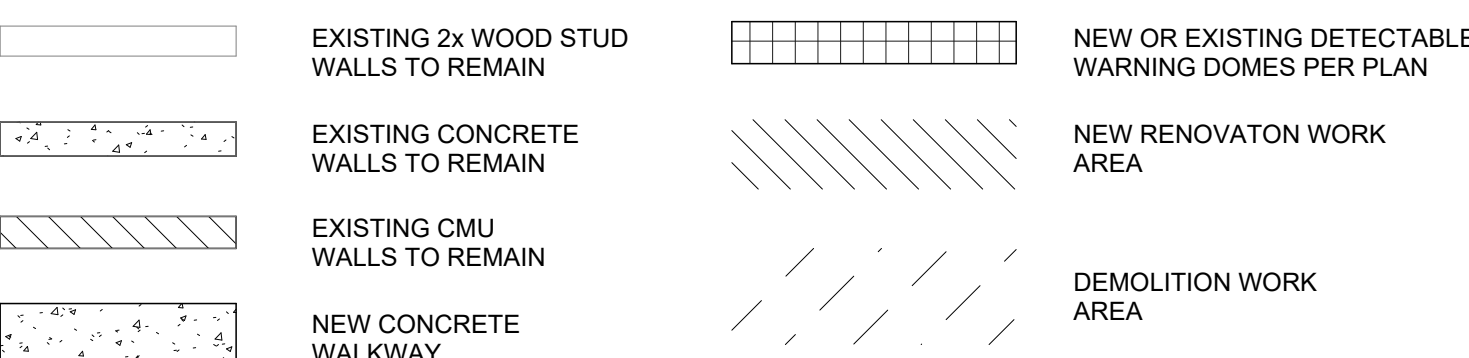
RENOVATION KEYNOTES

- | | |
|-------|--|
| 02-03 | NEW 4" THICK CONCRETE SLAB WITH #4 REBARS 16" O.C. BOTH WAYS, OVER 1" SAND OVER 15 MIL VISQUEEN OVER 2" SAND. WALKWAY SLOPE TO BE 1% MIN. AND 2% MAX, UNLESS OTHERWISE NOTED. SEE DETAIL 18/A4.0. |
| 08-03 | NEW CUSTOM 84"x48" ANODIZE ALUMINUM SLIDER WINDOW, TRANSOM W/ ALUMINUM PANEL, PREWIRED WITH ALUMINUM PANEL AND UNHEATED AIR CURTAIN; COMBINATION UNIT BY COVENANT SECURITY EQUIPMENT CSE-QS-SC-Transom-8448-1"LE-AC-C(1, R) OR APPROVED EQUAL TO BE INSTALLED IN EXISTING "OPENING OF 84"x48" OPENING. WINDOW TO PROVIDE 14" CLEAR TEMPERED GLASS LOW-E, SELF-CLOSING SLIDER, WITH SERVICE OPENING UNDER 432 SQUARE INCHES. AIR CURTAIN BERNER, MODEL DTUO-03-118 AA TO OPERATE AUTOMATIC WHENEVER THE WINDOW IS OPEN. CONTRACTOR TO EXTEND POWER, LOW VOLTAGE, FROM EXISTING ELECTRICAL PANEL WITH 20 AMP DEDICATED CIRCUIT AND TO FIELD VERIFY SIZE. |
| 08-05 | NEW 22 GAUGE GALVANIZE STEEL COUNTER SHUTTER ROLLING DOORS MODEL C.H.I. 6500 SERIES OR APPROVED EQUAL. 92" WIDE X 56" HIGH STANDARD SECURITY ROLL UP DOOR WITH METAL TRACKS, MANUAL GEAR FOR HAND CRACK TO BE PROVIDED ON THE INSIDE OF THE BUILDING. |
| 09-01 | PRESSURE WASH EXISTING INTERIOR & EXTERIOR WALLS AND SURFACES DAMAGED BY NEW WORK, SCRAPE OFF ANY UNSTABLE PAINT. PATCH AND REPAIR ANY DAMAGED SURFACES AND PREPARE SURFACES FOR NEW FINISHES PER PLAN. |
| 09-04 | NEW 16 GAUGE STAINLESS STEEL COUNTERTOP OVER 3/4" CDX PLYWOOD MOUNTED AT 34" MAX. HEIGHT TO FINISH FLOOR. JOINTS TO BE WELDED, SEAMLESS, & FLUSH. PROVIDED WITH DIAGONAL METAL KNEE BRACES AND ATTACHED TO EXISTING CMU. |
| 09-05 | NEW QUARRY FLOOR TILE OVER NEW SLOPED SUBSTRATE. SEE FINISH MATERIAL SCHEDULE. SLOPE 1% MINIMUM OR 2% MAXIMUM PERMISSIBLE TO FLOOR DRAIN. COMPLY WITH TILE COUNCIL OF NORTH AMERICA INSTALLATION METHOD F121-07. |
| 09-06 | NEW MATCHING WALL QUARRY BASE TILE OVER NEW 5/8" CEMENT BOARD; 4" MINIMUM HEIGHT. SHOWNED WITH BOLD LINE ON RENOVATION PLAN. SEE FINISH MATERIAL SCHEDULE. |
| 10-01 | NEW TACTILE ROOM ID SIGNAGE FOR RESTROOMS AT NEW LOCATION ON WALL- PROVIDE NEW TILE 24 AND ADA-COMPLYING RESTROOM SIGNAGE. PATCH AND REPAIR WALL FINISHES AND SUBSTRATES MATERIALS DAMAGED BY RETROFIT WORK TO MATCH ADJACENT FINISH. |
| 10-02 | NEW GEOMETRIC SIGNAGE ON ENTRY DOOR TO RESTROOM. PROVIDE 12" DIA. CIRCLE AT WOMEN'S RESTROOM AND TRIANGLE AT MEN'S RESTROOM. COLOR OF GEOMETRIC SIGNS SHALL CONTRAST VISUALLY WITH THE DOOR COLOR. |
| 10-03 | NEW ONE-PIECE GRAB BAR (42"x54"), 1-1/2" OUTSIDE DIAMETER, STAINLESS STEEL FINISH. MOUNT TOP OF GRAB BAR 34" ABOVE FINISH FLOOR. |
| 10-04 | NEW TOILET PAPER DISPENSER, STAINLESS STEEL FINISH. |
| 10-05 | NEW SEAT COVER DISPENSER, STAINLESS STEEL FINISH. MOUNT TOP OF DISPENSER AT 40" MAX. |
| 10-06 | NEW SOAP DISPENSER, STAINLESS STEEL FINISH. MOUNT TOP OF DISPENSER AT 40" MAXIMUM. |
| 10-07 | NEW WALL MOUNTED BABY CHANGING STATION, PROVIDE 30"x48" CLEAR FLOOR SPACE FRONT OF STATION. DESIGN OF HANDLES AND CONTROLS (OPERABLE WITH ONE HAND, WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST) REQUIRED FORCE NOT TO EXCEED 5 LBS. PROVIDE STATION MOUNTING HEIGHT IN THE DOWN POSITION 34" MAXIMUM AND KNEE SPACE 27" MINIMUM ABOVE FINISH FLOOR AND TOE SPACE BENEATH 17" MIN. TO 25" MAX. |
| 10-08 | NEW SOLID PHENOLIC TOILET PARTITIONS. SEE FINISH MATERIAL SCHEDULE. |
| 10-09 | NEW SOLID PHENOLIC URINAL PARTITIONS @ 23" DEEP. SEE FINISH MATERIAL SCHEDULE. |
| 10-12 | PROVIDE NEW 1-1/2" DIAMETER STAINLESS STEEL WALL TO FLOOR DRINKING FOUNTAIN GRAB BAR TO SUPPORT LOADS OF 250 POUNDS. |
| 10-14 | PROVIEW NEW BROOM RACK BY REGENCY, MODEL 660MR24 OR APPROVED EQUAL. |
| 10-15 | PROVIDE NEW OR EXISTING EQUIPMENT AND ANY NECESSARY HOOKUP, POWER, ETC. SEE LIST FOR MODEL AND ADDITIONAL INFORMATION. |
| 10-16 | NEW WALL MOUNTED STAINLESS STEEL PAPER TOWEL DISPENSER, BOBRICK 262 OR APPROVED EQUAL. |
| 22-01 | NEW FLOOR DRAIN WITH CLEAN-OUT. FLOOR SLOPES NOT TO EXCEED 1.5% IN ANY DIRECTION. |
| 22-02 | NEW WALL MOUNTED PORCELAIN WATER CLOSET WITH CONCEAL FLUSHOMETER W/ PUSH BUTTON. SEE PLUMBING FIXTURE SCHEDULE. |
| 22-03 | NEW WALL MOUNTED PORCELAIN URINAL WITH CONCEAL FLUSHOMETER W/ PUSH BUTTON. SEE PLUMBING FIXTURE SCHEDULE. |
| 22-04 | NEW WALL MOUNTED PORCELAIN LAVATORY WITH METER FAUCET AND PIPE INSULATION TO FULLY COVER DRAIN/WATER PIPES AND EXPOSED SHARP/ABRASIVE SURFACES UNDER THE LAVATORY WITH A WHITE PVC/LV SHIELD. SEE PLUMBING FIXTURE SCHEDULE. |
| 22-05 | NEW HOSE BIB TO MATCH EXISTING ONE AND SECURE EXISTING SUPPLY PIPE TO EXISTING BUILDING WALL. |
| 22-06 | RE-INSTALL EXISTING 3 BOWL COMPARTMENT SINK "EVEREST" W/ 2 DRAIN BOARDS & METAL BACKSLASH EA. COMPARTMENT & DRAINBOARD PROVIDES A MIN. OF 181X812 INCH DEPTH; PROVIDE NEW PLUMBING FITTINGS FOR DRAINAGE, AND NEW SUPPLY LINES TO EXISTING FAUCET. SINK TO DRAIN INTO NEW FLOOR SINK WITH A MINIMUM 1" AIR GAP. |
| 22-07 | NEW FLOOR SINK TO BE FLUSH WITH CONCRETE FINISH FLOOR. SEE PLUMBING FIXTURE SCHEDULE. |
| 22-11 | ADJUST THE HEIGHT OF THE DRINKING FOUNTAIN TO PROVIDE 36" MAXIMUM HIGH BUBBLER ABOVE FINISH FLOOR. PROVIDE OR REPLACE ANY NEW WATER/DRAIN LINES NEEDED AND FITTINGS. |
| 22-12 | ADJUST THE HEIGHT OF THE DRINKING FOUNTAIN TO PROVIDE 38" MINIMUM TO 43" MAXIMUM HIGH BUBBLER ABOVE FINISH FLOOR. PROVIDE OR REPLACE ANY NEW WATER/DRAIN LINES NEEDED AND FITTINGS. |
| 22-13 | RE-INSTALL EXISTING MOP SINK AT SAME LOCATION. PROVIDE NEW P-TRAP, SUPPLY LINES, AND ATTACHMENT HARDWARE AS NEEDED. PROVIDE NEW FAUCET WITH APPROVED VACUUM BREAKER. |
| 22-14 | NEW SINK, EXTEND DRAINAGE & WATER SUPPLY FROM ADJACENT PLUMBING FIXTURE. PROVIDE NEW P-TRAP, SUPPLY LINES, AND ATTACHMENT HARDWARE AS NEEDED. SEE EQUIPMENT & PLUMBING FIXTURE SCHEDULE. |
| 22-15 | NEW ELECTRIC WATER HEATER, ATTACHED TO EXISTING METAL SEISMIC STRAPS AND PROVIDE ALL REQUIRED SUPPLY LINES, CONNECTIONS, POWER, AND HARDWARE AS NEEDED. SEE PLUMBING FIXTURE SCHEDULE. |
| 26-08 | NEW ELECTRICAL TRANSFORMER, SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. |
| 26-09 | NEW ELECTRICAL PANELS AND BREAKERS, SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION. |

DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

PROJECT LEGEND



EQUIPMENT LIST

ITEM NO.	PRODUCT NAME	MAKER	DESCRIPTION	SERIAL #	MODEL #	AMP	WATTS	VOLTS	HZ	CERTIFICATE
1	(E) BEVERAGE DISPENSER	CORNELIUS	MARMON FOODSERVICE TECHNOLOGIES; PART NO. 631100203, 23X23 DRAIN TO FLOOR SINK; PROVIDE A RIGID DRAIN LINE & END WITH A MINIMUM 1-INCH AIR GAP.	740224ADK038	CE0233-34008	12	UK	115	60	CULUS LISTED
2	(E) CAPPUCCINO MACHINE	CLURTS	ASSET # 92245; MANUFACTURED 404	10574980	PC-3D-10-01	15	1764	120	60	CUL, NSF, UL
3	(E) COFFEE BREWER	CLURTS	PROPERTY OF J. GAYNA & SONS, INC. ASSET # : 12890257	SES # : 19536; 12890257	ALP3GT63A000	15	1800	120	50/60	UL LISTED, NSF
4	(E) FIRE SUPPRESSION SYSTEM	ANSUL	R-102 WET CHEMICAL FIRE SUPPRESSION SYSTEM	82412417						UL, UL
5	NEW WIRE SHELVING	WINCO	5-SHELF UNIT, 48"X18" LONG STAINLESS STEEL WIRE SHELF; CHROME PLATED		IC-1848					NSF LISTED
6	NEW ELECTRIC FLOOR FRYER	IMPERIAL	STAINLESS STEEL FRYPOT, 18W X 30 X 44H;		IF5-40-E	68	1400	208		ETL
7	NEW ELECTRIC GRIDOLE	IMPERIAL	ELECTRIC STAINLESS STEEL COUNTERTOP GRIDDLERS; POLISH STEEL PLATES, 3/PHASE		ITD-48-E	58	1600	208/240		ETL, NSF
8	NEW BROOD KRAK TYPE	REGENCY	STEEL COMMERCIAL IMMERSION ELECTRIC WATER HEATER, 3/PHASE		60MBR24	N/A	N/A	N/A	N/A	NSF LISTED
9	NEW EQUIPMENT STAND	RHEEM	30X36 STAINLESS STEEL TYP T UP/TURN ON REAR & SIDES		E40A-12-G	12KW		208	UK	UL, NSF LISTED, UL Standard 1453
10	NEW COMMERCIAL MICROWAVE	ATOSA USA	COUNTERTOP MICROWAVE; MANUFACTURED 09/2012	123596	ATSE-3548	N/A	N/A	N/A	60	AQ & NSF LISTED
11	(E) COMMERCIAL MICROWAVE	ATOSA USA	38.5" 16 GAUGE STAINLESS STEEL ONE COMPARTMENT COMMERCIAL SINK W/ STAINLESS STEEL LEGS & 1-DRAINBOARD 18"X14" BOWL		R-2LC7C	14	UK	120	60	UL LISTED 2686, NSF
12	NEW FOOD PREP. SINK	REGENCY	DRAIN TO NEW FLOOR SINK WITH A 1" MINIMUM AIR GAP.	6051181618XR						N/A NSF LISTED
13	NEW LOCKERS	GLOBAL INDUSTRIAL	36 W X 12 D X 78 H 2-TIER 6 DOOR METAL LOCKER; PROVIDED WITH FOOT PLATES BOLT TO OUTSIDE LOCKER SUPPORTS & 6" HIGH LEGS. PROVIDE ONE BOTTOM LOCKER TO BE ADA COMPLIANT. COLOR GRAY	WR254124GY		N/A	N/A	N/A	N/A	
14	NEW REACH-IN REFRIGERATOR	ATOSA USA	REFRIGERATOR REACH-IN, 3-SECTION, 1/4 HP, OK CASTERS. REF. R290	MBF8503GR		4.2	N/A	115	60	ETL, AQ, NEMA
15	NEW WIRE SHELVING	WINCO	5-SHELF UNIT, 48"X18" LONG STAINLESS STEEL WIRE SHELF; CHROME PLATED		IC-1842	N/A	N/A	N/A	N/A	NSF LISTED
16	(E) RANGE HOOD	ECON-AIR	EXHAUST HOOD WITHOUT EXHAUST DAMPER. FILTER TYPE: SS BAKE 1/6" EX- 5" TALL X 16" WIDE	5764212	4824 EX-2	15	UK	120	60	ETL/ULS, INTERTEK 309597, ETL INTERTEK, ETL CONFORMS TO STD 710 AND NSF STD 2
17	NEW PREP. TABLE	ECON-AIR	24W30X30XH DRAIN TO FLOOR SINK; PROVIDE A RIGID DRAIN LINE & END WITH A MINIMUM 1-INCH AIR GAP.		17E-2436					UL 710, NSF STANDARD 2
18	(E) 3-COMPARTMENT SINK	EMERIT	DRAIN TO FLOOR SINK; PROVIDE A RIGID DRAIN LINE & END WITH A MINIMUM 1-INCH AIR GAP. REF. R404A, 30 X 48"	121028001206	ICEED040HA	17.1	UK	115	60	CULUS LISTED 361P, NSF
19	(E) ICE MACHINE	ICE-CO MACHINE	SINGLE: COCA-COLA COMPANY F# Asset Code (VM220A3076); FOR STORAGE OF PREPACKAGED FOOD ONLY. REF. R290, 1.94 CWT	A53221211519	G319 R2	7	UK	115	208	CULUS LISTED, UL, EPH, SA806
20	(E) REFRIGERATOR - BEVERAGE	IMBERA	DOUBLE: COCA-COLA COMPANY F# Asset Code (VM220B2783); FOR STORAGE OF PREPACKAGED FOOD ONLY. REF. R290, 3.30 CWT	020220801176	VRD34 SD R2	8.7	UK	115	60	CULUS LISTED, UL, EPH, SA806
21	(E) REFRIGERATOR - BEVERAGE	IMBERA	FREEZER REACH-IN, TWO-SECTION, 3/4 HP, ON CASTERS. REF. R290		MBF8503GR	8.6	N/A	115	60	ETL, AQ, NEMA
22	NEW REACH-IN FREEZER	ATOSA USA	12X16, 20 GAUGE 304 STAINLESS STEEL W/ SPLASHGUARD @ MIN. 6" TALL AT BOTH SIDES OF WASH/SINK. CONTRASTOR TO PROVIDE WATER TO BE 100-108 DEGREES FAHRENHEIT TO 100		600H5128P					N/A NSF LISTED
23	NEW HAND WASH SINK	REGENCY	COUNTERTOP FOOD WARMER	D22-0376	6055A	10	1200	120	60	UL STD 197; ETL LISTED 970032
24	(E) FOOD WARMER	NEMCO	230X3 MANTOWTOW BEVERAGE SYSTEMS. EXTEND LINES TO NEW LOCATION OF SODA MACHINE.		16-1321	UK	UK	UK	UK	NSF LISTED
25	(E) BEVERAGE SYSTEM (E) FIRE EXTINGUISHER	McMCO'S MTJ K-QUARD	WIDE ANGLE, SOFT DISCHARGE SPRAY PATTERN		UK	N/A	N/A	N/A	N/A	UL & 711, ULC S554, and NFPA 10
26	(E) FIRE EXTINGUISHER	UK	WALL MOUNTED		UK	N/A	N/A	N/A	N/A	UK
27	NEW WALL SHELF	REGENCY	48" WIDE X 18" DEEP. PROVIDE 2 ROWS AT 60" & 80" HIGH.		60W9W1848	N/A	N/A	N/A	N/A	NSF LISTED
28	NEW WALL SHELF	REGENCY	36" WIDE X 18" DEEP. PROVIDE 2 ROWS AT 60" & 80" HIGH.		60W9W1836	N/A	N/A	N/A	N/A	NSF LISTED
29	NEW WALL SHELF	REGENCY	30" WIDE X 18" DEEP. PROVIDE 2 ROWS AT 60" & 80" HIGH.		60W9W1830	N/A	N/A	N/A	N/A	NSF LISTED
30	NEW WALL SHELF	REGENCY	24" WIDE X 18" DEEP. PROVIDE 2 ROWS AT 60" & 80" HIGH.		60W9W1824	N/A	N/A	N/A	N/A	NSF LISTED
31	NEW WORK TABLE	AERO	24W30X30XH WITH 4" SPLASH		2TBGX24S	N/A	N/A	N/A	N/A	UL 710, NSF STANDARD 2
32	NEW WORK TABLE	AERO	24W30X30XH WITH 4" SPLASH		2TBGX24S	N/A	N/A	N/A	N/A	UL 710, NSF STANDARD 2

NOTE: SEE A3.0 ACCESSORY, FINISH MATERIAL, & PLUMBING FIXTURES SCHEDULES

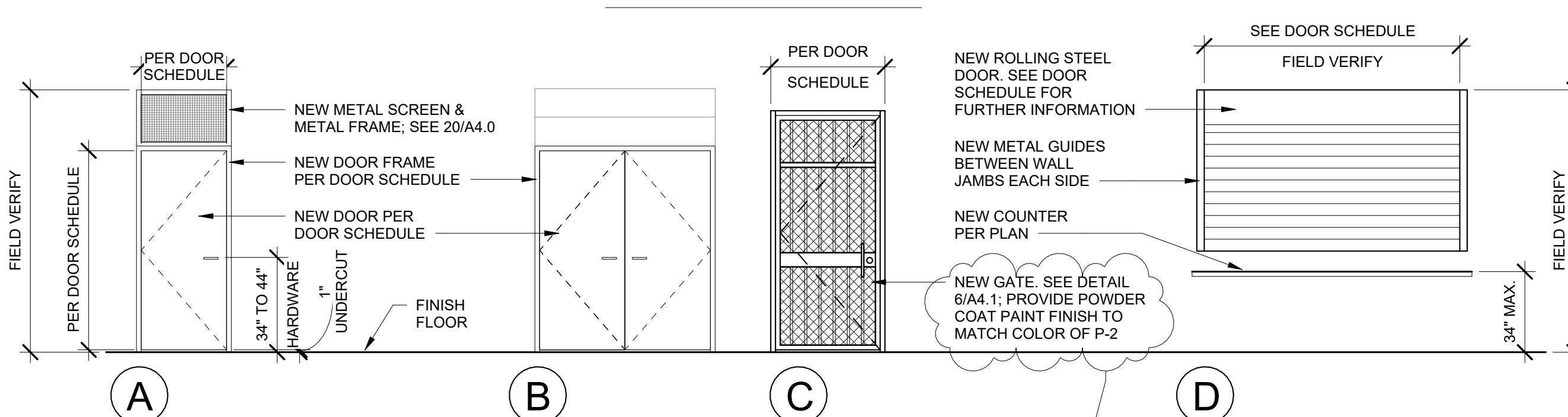
4 RENOVATION FLOOR PLAN

SCALE: 1/4" = 1'-0"

2022 PLUMBING CODE SPECIFICATION:
 • **WATER SUPPLY LINES (ABOVE GROUND):**
 USE COPPER TYPE L TUBING FOR ALL ABOVE GROUND
 THE 2022 PLUMBING CODE REQUIREMENT

- **WASTE LINES:**
WASTE LINES SHALL BE HUBBELLESS CAST IRON PIPE WITH NEOPRENE GASKETS AND CAST IRON CLAMPS. ALL FASTENERS SHALL BE STAINLESS STEEL NUTS, WASHERS, AND BOLTS. ALTERNATIVELY, SCHEDULE 40 ABS PIPING WITH SCHEDULE 40 FITTINGS AND SOLVENT WELD JOINTS MAY BE USED WHERE APPLICABLE.
- **PUMPED DISCHARGE PIPING:**
PUMPED DISCHARGE PIPING SHALL BE SCHEDULE 40 CARBON STEEL, GALVANIZED, CONFORMING TO ASTM A53, GRADE B. USE THREADED JOINTS AND GALVANIZED CAST IRON FITTINGS AS REQUIRED.
- **GENERAL REQUIREMENTS:**
ALL MATERIALS AND INSTALLATION METHODS SHALL COMPLY WITH THE 2022 PLUMBING CODE AND APPLICABLE LOCAL AMENDMENTS. VERIFY COMPATIBILITY OF MATERIALS AT ALL CONNECTION POINTS AND ENSURE ALL JOINTS ARE SECURE AND LEAK-FREE.

DOOR LEGEND



DOOR SCHEDULE

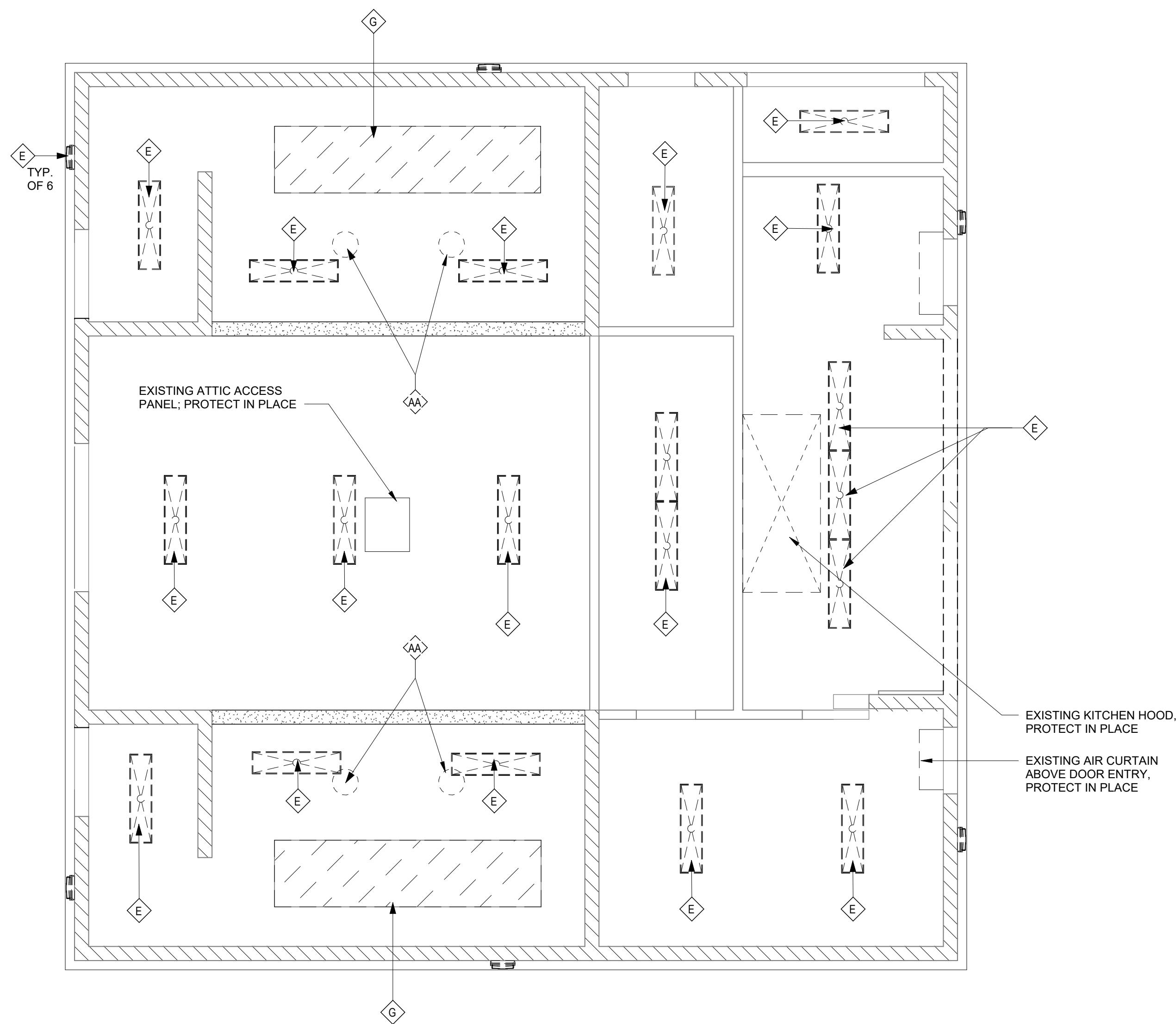
DOOR SIZE		DOOR SIZE		DOOR		FRAME		DETAILS			HARDWARE SET	NOTE: GATE #1 AND #3 TO PROVIDE POWDER COAT FINISH; COLOR TO MATCH P-2 FROM FINISH MATERIAL SCHEDULE. SEE SPECIFICATION R67100 - DOOR HARDWARE FOR ADDITIONAL DOOR INFORMATION AND HARDWARE ITEMS NOT LISTED IN THE COMMENTS.			
DOOR #	WIDTH	DOOR HEIGHT	DOOR THK.	O TYPE	CONSTRUCT	INSH	MATERIAL	INSH	FIRE RATED	HEAD			JAMB	THRESHOLD	
1	4' 0"	GATE	8' 3"	A	H	HM	P-2	HM	P-2	10/A4.0	9/A4.0	NONE	1	PROVIDE MORTISE LOCK, PULL HANDLE, KICKPLATE, & CLOSER.	
2	6' 8"	DOUBLE	6' 8" 2"	13/4"	A	H	BM	P-2	HM	P-2	10/A4.0	9/A4.0	8/A4.0	6	PROVIDE THRESHOLD, MORTISE LOCK, DEADBOLT, KICKPLATE, CLOSER, DOOR SWEEP & SEALS.
3	4' 0"	GATE	8' 8"	2"	C	H	HM	P-2	HM	P-2	NONE	1	1	PROVIDE MORTISE LOCK, PULL HANDLE, KICKPLATE, & CLOSER.	
4	3' 0"	SINGLE	6' 8" 1 3/4"	A	H	HM	P-2	HM	P-2	10/A4.0	9/A4.0	8/A4.0	4	PROVIDE THRESHOLD, MORTISE LOCK, DEADBOLT, CLOSER, DOOR SWEEP & SEALS.	
5	8' 0"	DOUBLE	6' 8" 13/4"	A	H	BM	P-2	HM	P-2	10/A4.0	9/A4.0	8/A4.0	5	PROVIDE THRESHOLD, MORTISE LOCK, DEADBOLT, KICKPLATE, CLOSER, DOOR SWEEP & SEALS.	
6	3' 0"	SINGLE	6' 8" 13/4"	A	H	BM	P-2	HM	P-2	10/A4.0	9/A4.0	8/A4.0	3	PROVIDE THRESHOLD, MORTISE LOCK, DEADBOLT, CLOSER, DOOR SWEEP & SEALS.	
7	3' 0"	SINGLE	6' 8" 13/4"	A	H	BM	P-2	HM	P-2	10/A4.0	9/A4.0	8/A4.0	2	PROVIDE THRESHOLD, MORTISE LOCK, DEADBOLT, CLOSER, DOOR SWEEP & SEALS.	
13	13' 4"	ROLL-UP	4' 8"	3"	C	D	HM	P-2	HM	P-2	10/A4.0	9/A4.0	NONE	7	26 GAUGE GALVANNEZ STEEL WITH CORRUGATED CURTAIN
14	7' 4"	ROLL-UP	4' 8"	3"	C	D	HM	P-2	HM	P-2	NONE	7	7	26 GAUGE GALVANNEZ STEEL WITH CORRUGATED CURTAIN	

ROOM FINISH SCHEDULE

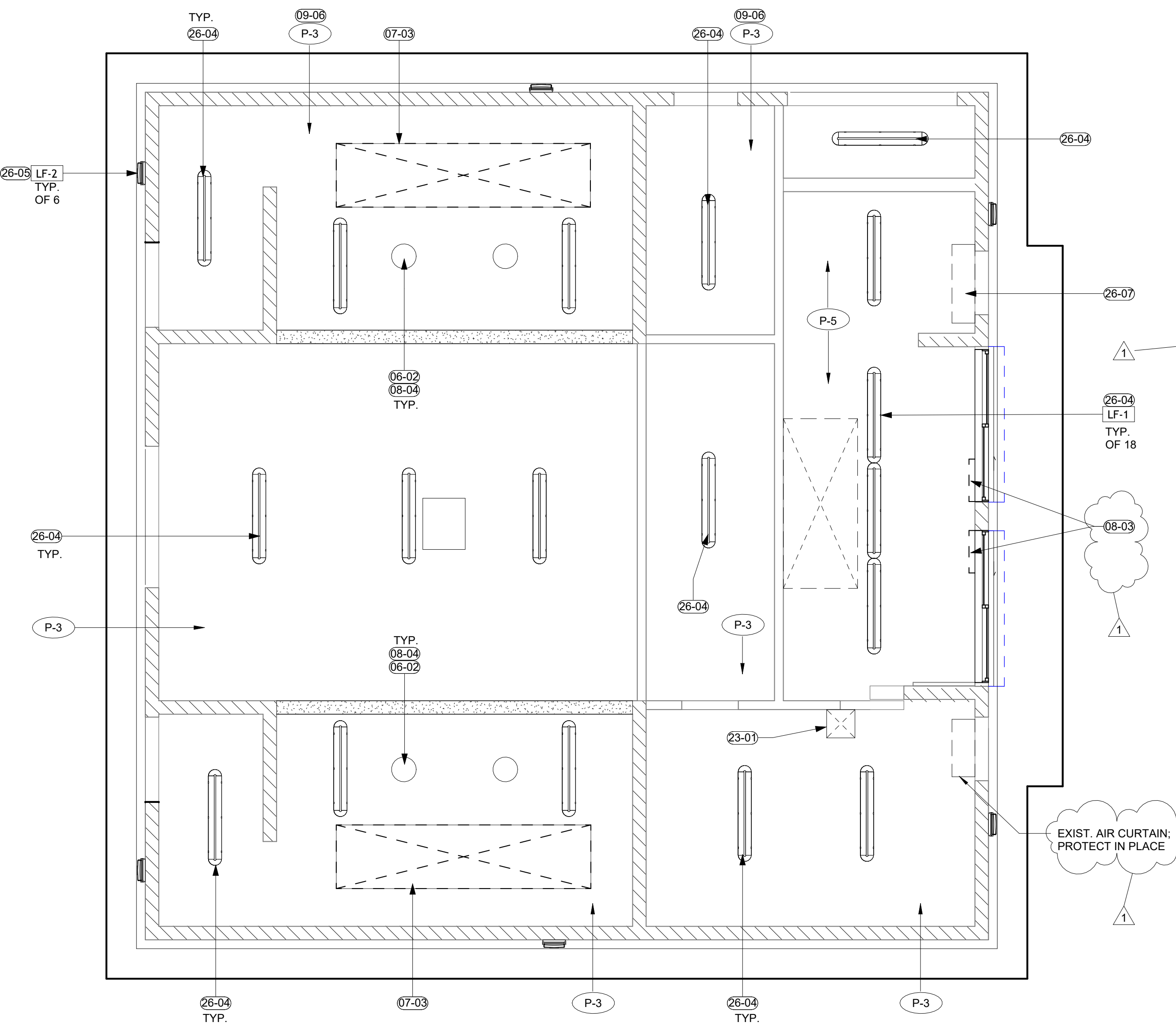
			WALLS												CEILING		COMMENTS
NO.	ROOM NAME	FLOOR/BASE	NORTH				EAST		SOUTH		WEST		MAT.	FIN.			
			MAT.	PT.	(E) CONC.	P-1	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.					
101	WOMEN'S	PCS-1PT-1	(E) CONC.	PT-1	(E) CMU	P-1	(E) CMU	P-1	(E) CONC.	N/A	(E) CMU	P-1	(E) GYP BD.	P-3			
102	MAINTENANCE	(E) CONC.	(E) CONC.	N/A	(E) GYP BD.	P-1	(E) CONC.	N/A	(E) CONC.	N/A	(E) CMU	P-1	(E) GYP BD.	P-3			
103	MEN'S	PCS-1PT-1	(E) CMU	P-1	(E) CMU	P-1	(E) CONC.	P-1	(E) CMU	P-1	(E) CMU	P-1	(E) GYP BD.	P-3			
104	STORAGE NO.3	(E) CONC.	(E) CMU	N/A	(E) CMU	P-1	N/A	GYP BD.	N/A	GYP BD.	N/A	(E) GYP BD.	N/A				
105	ELEC. VAULT	(E) CONC.	(E) CONC.	N/A	(E) CMU	N/A	(E) GYP BD.	N/A	(E) GYP BD.	N/A	(E) GYP BD.	N/A	(E) GYP BD.	P-3			
106	SNACK BAR	(E) QUARRY TILE FLR. & BASE	(E) GYP BD.	FRP	(E) CMU	FRP	(E) CMU	FRP	(E) CMU	FRP	(E) GYP BD.	FRP	(E) GYP BD.	P-3			
107	STORAGE NO. 1	(E) QUARRY TILE FLR. & BASE	(E) GYP BD.	FRP	(E) CMU	(E) GYP BD.	(E) CMU	FRP	(E) CMU	FRP	(E) CMU	FRP	(E) GYP BD.	P-3			
108	STORAGE NO. 2	(E) QUARRY TILE FLR. & BASE	(E) GYP BD.	FRP	(E) CMU	FRP	(E) GYP BD.	FRP	(E) CMU	FRP	(E) CMU	FRP	(E) GYP BD.	P-3			

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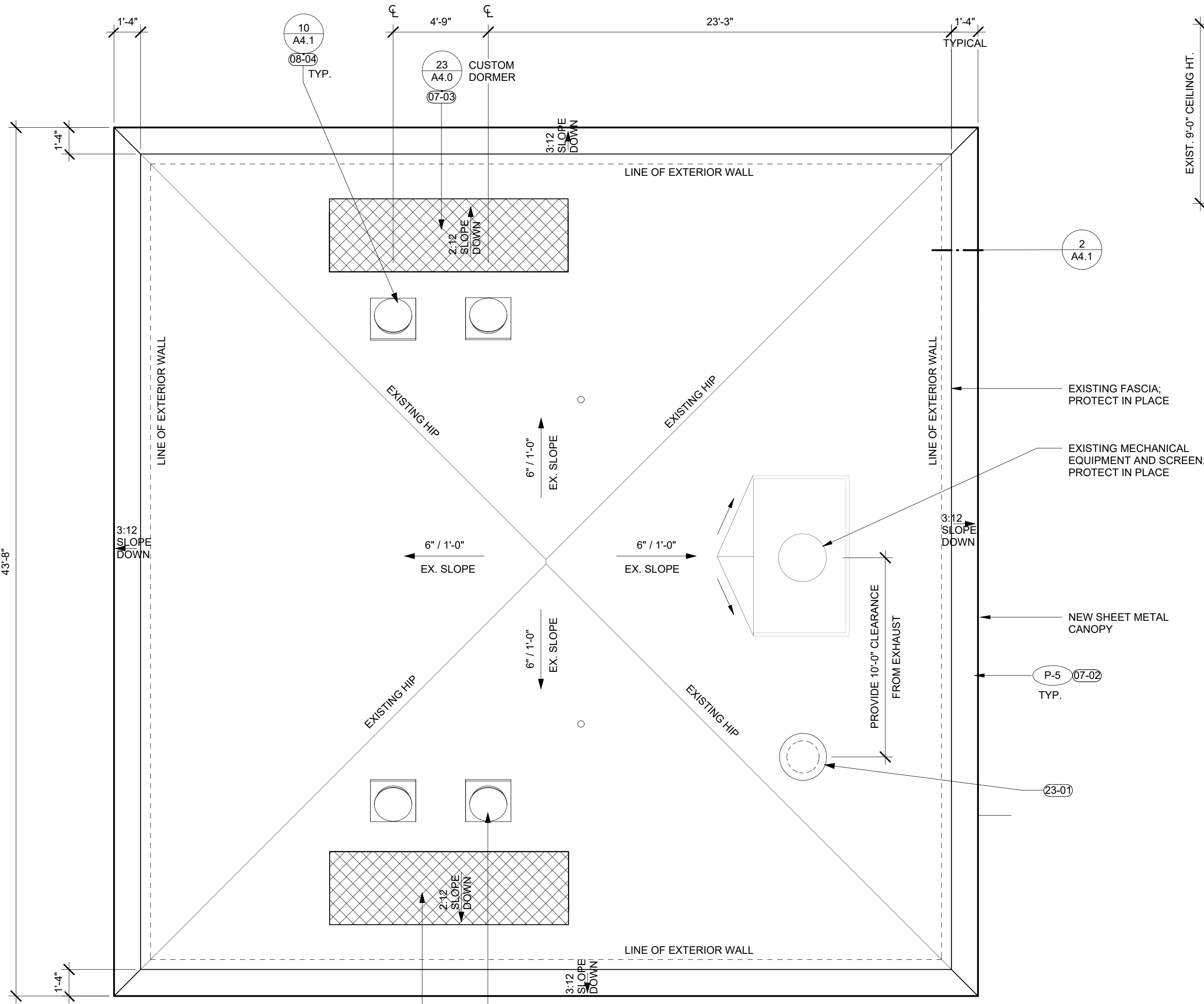
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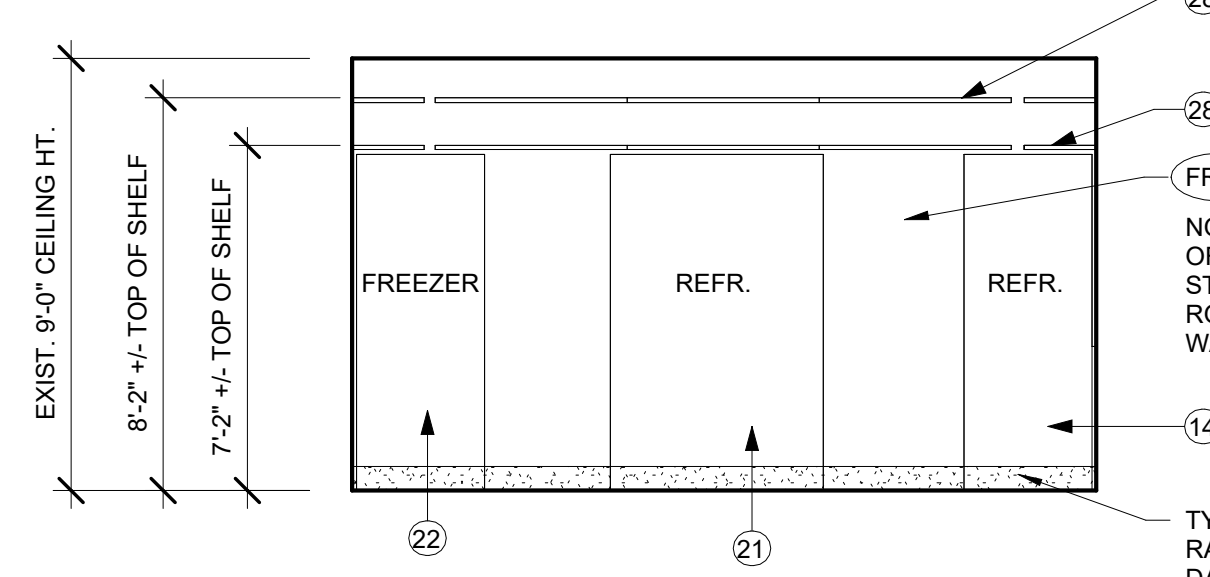
1 DEMOLITION REFLECTIVE CEILING PLAN
SCALE: 1/4" = 1'-0"



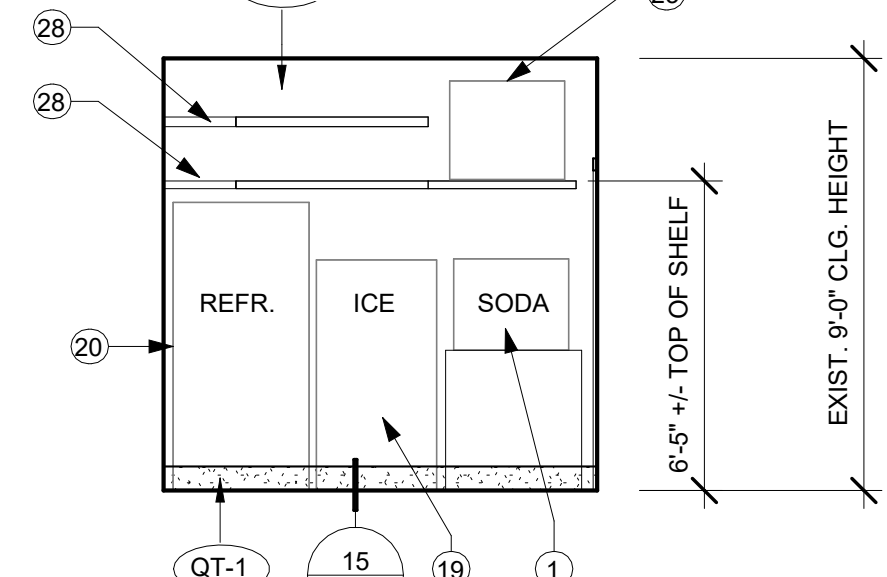
2 RENOVATION REFLECTIVE CEILING PLAN
SCALE: 1/4" = 1'-0"



3 ROOF PLAN
SCALE: 1/4" = 1'-0"



4 STORAGE RM. 1 - SOUTH
SCALE: 1/4" = 1'-0"



5 SNACK BAR - NORTH
SCALE: 1/4" = 1'-0"

FINISH MATERIAL SCHEDULE				
ITEM No.	MATERIAL	* MANUFACTURE	COLOR/MODEL NO.	NOTES
FRP-1	FIBERGLASS REINFORCE PLASTIC PANELS	MARLITE	SMOOTH GLOSS FINISH, COLOR TO BE SELECTED BY OWNER	PROVIDE NEW FRP TO EXTEND FROM TOP OF COVE BASE TO FULL WALL HEIGHT AT SNACK BAR, STORAGE ROOM #1, STORAGE ROOM #2, AND AT SINKS AREA WALLS. EXCEPT AT THE EXHAUST HOOD LOCATION, PROTECT IN PLACE EXISTING STAINLESS STEEL PANEL
GB-1	GYP BOARD	USG	HIGH IMPACT & MOLD RESISTANT TYPE.	5/8" THICK GYP BD. SHALL BE SMOOTH FINISH TO MATCH ADJACENT SURFACES.
PCS-1	POLISH CONCRETE SEALER (GREASE AND ACID RESISTANT)	CONCRETE SEALERS USA	TO BE SELECTED BY ARCHITECT	PATCH AND REPAIR EXISTING CONCRETE SURFACE AND PROVIDE A MAXIMUM OF 200 GRIT POLISH THROUGHOUT. CONTRACTOR SHALL PROVIDE 4"x4" AREA MOCK UP FOR APPROVAL. PROVIDE CONCRETE SEALERS USA TS210 OIL & STAIN PROTECTOR FOR CONCRETE SURFACES OR APPROVED EQUAL FOR GREASE AND ACID RESISTANT PENETRATING SEALER.
P-1	SEMI-GLOSS PAINT	DUNN-EDWARD	ARCHITECT TO SELECT	INTERIOR WALLS
P-2	SEMI-GLOSS PAINT	DUNN-EDWARD	ARCHITECT TO SELECT	DOOR AND DOOR FRAME, NEW GATES AND LOUVER VENTS ARE TO BE POWDER COAT TO MATCH P-3 COLOR
P-3	SEMI-GLOSS PAINT	DUNN-EDWARD	MATCH EXISTING	CEILING
P-4	SEMI-GLOSS PAINT	DUNN-EDWARD	MATCH EXISTING	EXTERIOR CMU WALLS
P-5	SEMI-GLOSS PAINT	DUNN-EDWARD	MATCH EXISTING ROOF COLOR	METAL ROOF CANOPY EXTENSION & DORMER VENT
PL-1	LAMINATE	WILSONART	ARCHITECT TO SELECT	BASE CABINETS
QT-1	PORCELIN TILE	DALTILE	ARCHITECT TO SELECT	WALL: 12 X 24 TILE
PT-1	QUARRY TILE	DALTILE	ARCHITECT TO SELECT	MATCH EXISTING 6" HIGH TILE (4" MIN. HEIGHT), WITH 3/8" RADIUS AT THE FLOOR, WALL & COUNTER JUNCTURE. SEE DETAIL 15/A4.0.
SS-1	SOLID SURFACE	CUSTOM FAB.	STAINLESS STEEL FINISH	SEE DETAIL 17/A4.0 FOR MORE INFO

NOTE: *PROVIDE ABOVE MANUFACTURE'S OR APPROVED EQUAL OR BETTER. PROVIDE ALL EXISTING AND NEW WALLS FINISHES TO BE SMOOTH, NON-ABSORBENT, EASILY CLEANABLE, AND DURABLE AT THE SNACK BAR, STORAGE #1, AND STORAGE #2.

ELECTRICAL LEGEND				
MARK	SYMBOL	DESCRIPTION	MANUFACTURER AND MODEL No.	NOTES
N/A	\$	EXISTING SWITCH		
N/A	⊖	EXISTING OUTLET		
LF-1	⎓	SURFACE MOUNTED, 54" LENGTH, LINEAR L.E.D. LIGHT FIXTURE	VAP LINEAR ROUGH SERVICE, LED; LITHONIA LIGHTING OR APPROVED EQUAL	ALL INTERIOR ROOMS
LF-2	⎓	SURFACE MOUNTED, 13"X9" WALL PACK, L.E.D. VANDAL RESISTANT LIGHT FIXTURE	TWPX2 LED VANDAL RESISTANT LED WALL LUMINAIRE; LITHONIA LIGHTING OR APPROVED EQUAL	EXTERIOR WALLS
MA-1	⊗	MAKEUP AIR		

DEMOLITION KEYNOTES

- AA SAWCUT DRYWALL, PLYWOOD, AND REMOVE ALL NECESSARY ROOFING TO ACCOMMODATE NEW SOLAR TUBE WORK.
- E REMOVE EXISTING ELECTRICAL LIGHT FIXTURE, SWITCHES, ETC. AND PREPARE FOR NEW ELECTRICAL WORK.
- G REMOVE EXISTING METAL SCREEN AT CEILING/ROOF AND PREPARE FOR NEW WORK. PATCH CEILING OPENING WALL AS NEEDED.

RENOVATION KEYNOTES

- 06-02 PROVIDE DOUBLE 2x BLOCKING BETWEEN ROOF RAFTERS AT EACH END OF THE SOLATUBE WITH A 1/2" PLYWOOD ATTACHED TO UNDERSIDE OF ROOF RAFTERS.
- 07-02 NEW 20 GAUGE GALVANIZE SHEET METAL ROOF OVERHANG CANOPY PAINTED PER FINISH MATERIAL SCHEDULE PROVIDE TOP & BOTTOM #10 x 1-1/2" TRUGRIP METAL-TO-WOOD SELF-PIERCING SCREWS AT 16" O.C. INTO EXISTING 2X10 WOOD FASCIA.
- 07-03 PROVIDE NEW CUSTOM SHEET METAL ROOF DORMER VENT. CONTRACTOR TO VERIFY SIZE, AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
- 08-03 NEW CUSTOM 84"x48" ANODIZE ALUMINUM SLIDER WINDOW. TRANSOM W/ ALUMINUM PANIT. PREWIRED WITH ALUMINUM PANEL, AND UNHEATED AIR CURTAIN. COMBINATION UNIT BY COVENANT SECURITY EQUIPMENT CSE-QS-SC-Transom-8448-1"LE-AC-C(L & R) OR APPROVED EQUAL TO BE INSTALLED IN EXISTING OPENING OF 84"x48" OPENING. WINDOW TO PROVIDE 1/4" CLEAR TEMPERED GLASS LOW-E, SELF-CLOSE SLIDER, WITH SERVICE OPENING UNDER 432 SQUARE INCHES. AIR CURTAIN BERNER, MODEL DTU-03-1 018 AA TO OPERATE AUTOMATIC WHENEVER THE WINDOW IS OPEN. CONTRACTOR TO EXTEND POWER, LOW VOLTAGE, FROM EXISTING ELECTRICAL PANEL WITH 20 AMP DEDICATED CIRCUIT AND TO FIELD VERIFY SIZE.
- 08-04 NEW 14" SOLAR TUBES TO BE INSTALLED AT ROOF PER MANUFACTURE RECOMMENDATION. LOCATE IN BETWEEN EXISTING ROOF RAFTERS AND PROVIDE NEW BLOCKING. SEE ROOF PLAN FOR LOCATION.
- 09-06 NEW MATCHING WALL QUARRY BASE TILE OVER NEW 5/8" CEMENT BOARD, 4" MINIMUM HEIGHT. SHOWNED WITH BOLD LINE ON RENOVATION PLAN. SEE FINISH MATERIAL SCHEDULE.
- 23-01 NEW SUPPLY FAN COOK KSP 120B OR EQUAL, PROVIDED WITH ROOF CURB AND CEILING AND 2x ROOF BLOCKING'S WITH A35'S AS NEEDED, MERV 13 FILTER, AND STANDARD MESH FILTER W/ MANUFACTURE FILTER BOX/RACK HARDWARE. EXTEND POWER FROM A SPARE BREAKER FROM THE EXISTING ELECTRICAL PANEL AND PROVIDE CONDUIT, CABLE, ETC. FOR AN INTERLOCKING SWITCH FROM THE EXISTING KITCHEN EXHAUST HOOD.
- 26-04 NEW SURFACE MOUNTED LED LIGHT FIXTURE LOCATED PER RENOVATION REFLECTED CEILING PLAN. PROVIDE LIGHT BULBS TO BE SHIELDED, COATED, OR SHATTER RESISTANT @ AREAS WHERE FOOD IS PREPARE, AND WHERE UNPACKAGED FOOD, AND CLEAN UTENSILS AND LINENS, ARE STORED.
- 26-05 NEW SURFACE MOUNTED WALL PACK LED VANDAL RESISTANT LIGHT FIXTURES TO MATCH EXISTING SIZE AT EXISTING LOCATION (FIELD VERIFY).
- 26-07 NEW SURFACE MOUNTED AIR CURTAIN, MODEL STD242-10A-05 OR APPROVED EQUAL. EXTEND POWER, ELECTRICAL WIRES WITH CONDUITS FROM ADJACENT J-BOX.

DEMOLITION NOTES

- CAP ALL EXISTING UTILITIES & PREPARE FOR NEW WORK AS REQUIRED.
- PROVIDE ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO COMPLETE DEMOLITION WORK AS INDICATED ON DRAWINGS AND SPECIFICATIONS AND AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
- PATCH, REPAIR, AND RESTORE ALL AREAS DAMAGED BY THE CONSTRUCTION WORK AND DEMOLITION TO MATCH CONDITION OF ADJACENT UNDISTURBED SURFACES.
- REMOVE FROM THE SITE ALL MATERIAL RESULTING FROM THE DEMOLITION WORK IN SUCH A MANNER AS TO AVOID CREATING A NUISANCE. DISPOSE OF ALL MATERIALS FROM THE SITE ON A DAILY BASIS AT NO ADDITIONAL COST TO THE OWNER.
- DISPOSE OF ALL MATERIAL RESULTING FROM THE DEMOLITION WORK IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, INCLUDING THOSE GOVERNING NOISE, DUST, AND DIRT CONTROL; DISPOSAL OF HAZARDOUS MATERIALS; AND REQUIREMENTS OF THE LOCAL AIR QUALITY MANAGEMENT DISTRICT.

RENOVATION NOTES

- ELECTRICAL / MECHANICAL EQUIPMENT AND DEVICES: REINSTALL AND PROPERLY RECONNECT EXISTING DUCTWORK, SWITCHES, THERMOSTATS, AND OTHER EXISTING ELEC./MECH. EQUIPMENT AND DEVICES REMOVED DURING THE WORK BUT NOT INDICATED TO BE REMOVED. REINSTALL ONLY EQUIPMENT AND DEVICES THAT ARE IN GOOD CONDITION. DISCARD EQUIPMENT AND DEVICES THAT ARE NOT IN CONDITION AT LEAST AS GOOD AS EXISTED BEFORE REMOVAL, AND PROVIDE NEW EQUIVALENT EQUIPMENT AND DEVICES. NEW EQUIPMENT AND DEVICES SHALL EXACTLY MATCH THOSE REMOVED IN TYPE, SIZE, FINISH, CONFIGURATION, AND OPERATING CHARACTERISTICS, UNLESS NOTED OTHERWISE. ALL INSTALLATION SHALL MEET CURRENT BUILDING CODE.
- PROVIDE NEW MATERIALS TO MATCH EXISTING UNDISTURBED WORK FOR CLOSING OF OPENINGS, REPAIRS, AND RENOVATION. NEW FINISH MATERIALS AND SUBSTRATES TO MATCH EXISTING SHALL BE THE SAME TYPES, FINISHES, QUALITIES, AND COLORS AS EXISTING ADJACENT MATERIAL. REPAIR ALL DAMAGED OR DEFACTED FLOOR, WALL, AND CEILING FINISHES ASSOCIATED WITH THESE ALTERATIONS.
- THE CONTRACTOR/SUB-CONTRACTOR SHALL SUBMIT THE PLANS TO THE FIRE DEPARTMENT FOR DEFERRED APPROVAL. USE THE EXISTING EQUIPMENT WHERE POSSIBLE.
- WHERE EXISTING PLUMBING VENT PIPES ARE REMOVED FROM THE ROOF AND NEW ONES ARE INSTALLED THE CONTRACTOR SHALL PATCH AND REPAIR THE ROOF. THE PATCHING AND REPAIR SHALL BE DONE USING A SUB-CONTRACTOR EXPERIENCED WITH ROOFING IN GENERAL AND ROOFING REPAIRS.
- FLOOR COVERING MATERIALS SHALL COMPLY WITH ASTM STANDARD E 648, AND HAVING A SPECIFIC OPTICAL DENSITY SMOKE RATING NOT TO EXCEED 450 PER ASTM E 662. CBC 804.4

FINISH MATERIAL NOTES

- UNLESS SPECIFICALLY INDICATED OTHERWISE, PRODUCTS SCHEDULED INDICATE QUALITY STANDARD REQUIRED, BUT ARE NOT INTENDED TO LIMIT COMPETITION. LISTED COLORS AND FINISHES ESTABLISH COLOR AND FINISH REQUIRED, EXCEPT FOR PRODUCTS NOTED AS "OWNER'S STANDARD." APPROVED EQUAL PRODUCTS MAY BE SUBMITTED FOR OWNER REPRESENTATIVE'S REVIEW AND APPROVAL. CONTRACTOR MAY REQUEST APPROVAL FROM OWNER TO USE OR SUBSTITUTE ENVIRONMENTALLY PREFERABLE PRODUCTS AND RECYCLED PRODUCTS.
- COLORS AND FINISHES SHALL MATCH SAMPLES AVAILABLE FOR VIEW BY CONTRACTOR AT OWNER REPRESENTATIVE'S PROJECT SITE OFFICE. ARCHITECT IS SOLE JUDGE OF COLOR AND FINISH MATCH.
- WHERE "MATCH EXISTING" IS INDICATED, PROVIDE NEW MATERIAL AS NECESSARY TO PATCH OR EXTEND EXISTING MATERIAL. UNLESS AN EXCEPTION IS SPECIFICALLY NOTED, NEW MATERIAL SHALL MATCH EXISTING IN TYPE, MATERIAL, SIZE, THICKNESS, COLOR, AND PATTERN.
- WHERE CONTRACT DOCUMENTS REQUIRE COLOR MATCH, BUT EXISTING COLORS NAME IS UNKNOWN, MATCH BY PRACTICABLE AS NEARLY AS POSSIBLE BY FIELD COMPARISON. ARCHITECT IS SOLE JUDGE OF COLOR MATCH ACCURACY. MISMATCHED COLORS WHERE MATCH IS REQUIRED WILL BE REJECTED.

ADA NOTES

TOILET AND BATHING ROOM CLEARANCES

- COAT HOOKS SHALL BE LOCATED WITHIN ONE OF THE REACH RANGES SPECIFIED IN SECTION 11B-308. SHELVES SHALL BE LOCATED 40" MINIMUM AND 48" MAXIMUM ABOVE THE FINISH FLOOR. PER 11B-603.4
- DOOR SHALL NOT SWING INTO THE CLEAR FLOOR SPACE OR CLEARANCE REQUIRED FOR ANY FUTURE. OTHER THAN THE DOOR TO THE ACCESSIBLE WATER CLOSET COMPARTMENT, A DOOR IN ANY POSITION, MAY ENCRUCH INTO THE TURNING SPACE BY 12" MAXIMUM. PER 11B-603.2.3

WATER CLOSETS AND TOILET COMPARTMENTS

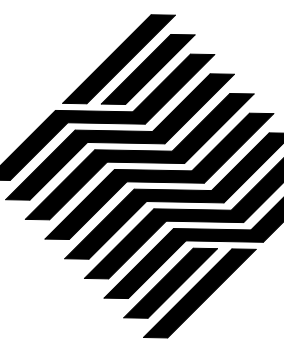
- THE WATER CLOSET SEATS SHALL NOT BE SPRUNG THE RETURN TO A LIFTED POSITION. SEATS SHALL BE 2" HIGH MAXIMUM. PER 11B-604.4
- FLUSH CONTROLS SHALL BE HAND OPERATED OR AUTOMATIC. HAND OPERATED FLUSH CONTROLS SHALL COMPLY WITH SECTION 11B-309.4. OPERATION EXCEPT THEY SHALL BE LOCATED 44" MAXIMUM ABOVE THE FLOOR. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET. PER 11B-604.6
- TOILET PAPER DISPENSER SHALL NOT BE OF A TYPE THAT CONTROLS DELIVERY OR THAT DOES NOT ALLOW CONTINUOUS PAPER FLOW. PER 11B-604.7

GRAB BARS

- THE SPACE BETWEEN THE GRAB BARS AND PROJECTING OBJECTS BELOW AND AT THE ENDS SHALL BE 1 1/2" MINIMUM. THE SPACE BETWEEN THE GRAB BAR AND PROJECTING OBJECTS ABOVE SHALL BE 12" MINIMUM. PER 11B-609.3
- GRAB BARS AND ANY WALL OR OTHER SURFACES ADJACENT TO THE GRAB BAR SHALL BE FREE OF SHARP AND ABRASIVE ELEMENTS AND SHALL HAVE ROUNDED EDGES. PER 11B-609.5
- GRAB BARS SHALL NOT ROTATE IN THEIR FITTINGS. PER 11B-609.6

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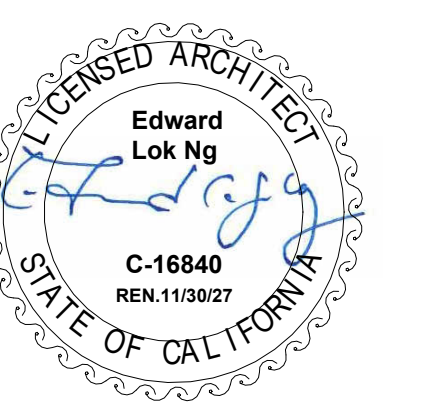
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Designer:	LA
CAD Draft:	RM
Architect:	LOK
Engineer:	EDA
Client:	PVPDP
Date Issue:	7/27/2025
Job Number:	3153

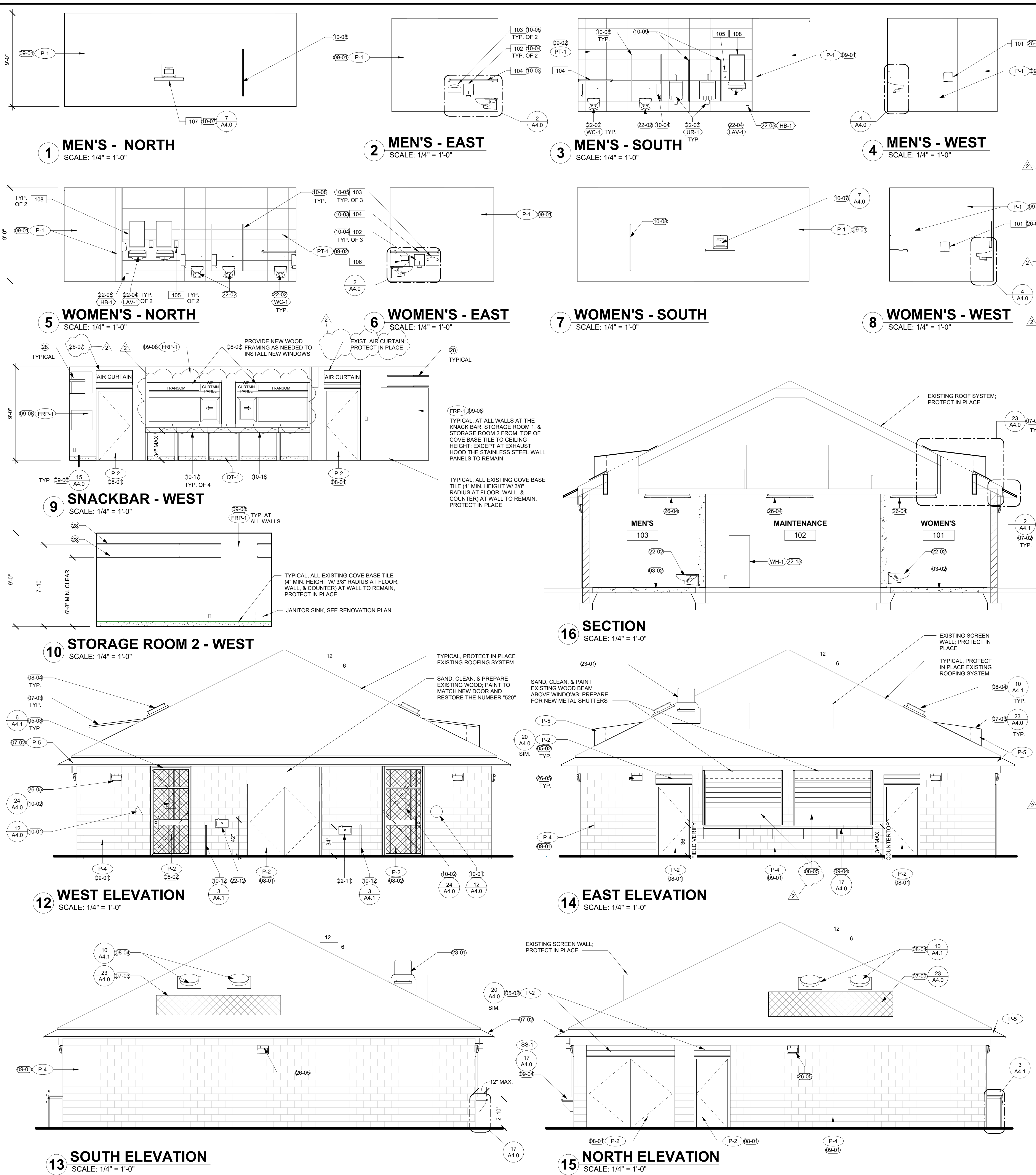
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Consultant:	



- DEMOLITION & RENOVATION REFLECTIVE CEILING PLAN

A2.0

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RENOVATION KEYNOTES

- 03-02 NEW 4" THICK CONCRETE SLAB WITH #4 REBARS 18" O.C. BOTH WAYS, OVER 1" SAND OVER 15 MIL VISQUEEN OVER 2" SAND. WALKWAY SLOPE TO BE 1% MIN. AND 2% MAX. UNLESS OTHERWISE NOTED. SEE DETAIL 18/A4.0.
- 05-02 NEW POWDER COAT STEEL LOUVER PANEL, PROVIDE INSIDE OF BUILDING NEW T-304 STAINLESS STEEL FRAME AND WIRE MESH; 16x16 MESH, 0.035" DIAMETER WIRE; PROVIDING MIN. OF 16 MESH PER SQUARE INCH. PAINT PER MATERIAL SCHEDULE.
- 05-03 NEW POWDER COAT 3/4" #9 EXPANDED STEEL WIRE MESH SECURITY PANEL WITH FRAME AND WITH T-304 STAINLESS STEEL FRAME AND WIRE MESH; 16x16 MESH, 0.035" DIAMETER WIRE; PROVIDING MIN. OF 16 MESH PER SQUARE INCH. PAINT PER MATERIAL SCHEDULE.
- 07-02 NEW 20 GAUGE GALVANIZE SHEET METAL ROOF OVERHANG CANOPY PAINTED PER FINISH MATERIAL SCHEDULE PROVIDE TOP & BOTTOM #10 x 1/12" TRUGRIP METAL-TO-WOOD SELF-PIERCING SCREWS AT 16" O.C. INTO EXISTING 2X10 WOOD FASCIA.
- 07-03 PROVIDE NEW CUSTOM SHEET METAL ROOF DORMER VENT, CONTRACTOR TO VERIFY SIZE, AND PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION.
- 08-01 NEW DOOR AND DOOR FRAME, AND HARDWARE. SEE DOOR SCHEDULE.
- 08-02 NEW HOLLOW METAL GATE AND HOLLOW METAL DOOR FRAME. MAIN GATE IS TO REMAIN OPEN IN THE LOCK POSITION DURING BUSINESS HOURS. PROVIDE NEW DOOR HARDWARE PER DOOR SCHEDULE. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- 08-03 NEW CUSTOM 84"x48" ANODIZE ALUMINUM SLIDER WINDOW, TRANSOM W/ ALUMINUM PANEL, PREWIRED WITH ALUMINUM PANEL AND UNHEATED AIR CURTAIN; COMBINATION UNIT BY COVENANT SECURITY EQUIPMENT. OSE-OS-SC Transom 84x48-11LE-AC-C-L & R) OR APPROVED EQUAL. TO BE INSTALLED IN EXISTING OPENING OF 84"x48" OPENING. WINDOW TO PROVIDE 1/4" CLEAR TEMPERED GLASS LOW-E, SELF-CLOSE SLIDER, WITH SERVICE OPENING UNDER 432 SQUARE INCHES. AIR CURTAIN BERNER, MODEL DTU-03-1 018 AA TO OPERATE AUTOMATIC WHENEVER THE WINDOW IS OPEN. CONTRACTOR TO EXTEND POWER, LOW VOLTAGE, FROM EXISTING ELECTRICAL PANEL WITH 20 AMP DEDICATED CIRCUIT AND TO FIELD VERIFY SIZE.
- 08-04 NEW 14" SOLAR TUBES TO BE INSTALLED AT ROOF PER MANUFACTURE RECOMMENDATION. LOCATE IN BETWEEN EXISTING ROOF RAFTERS AND PROVIDE NEW BLOCKING. SEE ROOF PLAN FOR LOCATION.
- 08-05 NEW 22 GAUGE GALVANIZE STEEL COUNTER SHUTTER ROLLING DOORS MODEL C.H.I. 6500 SERIES OR APPROVED EQUAL. 92" WIDE X 56" HIGH STANDARD SECURITY ROLL UP DOOR WITH METAL TRACKS, MANUAL GEAR FOR HAND CRACK TO BE PROVIDED ON THE INSIDE OF THE BUILDING.
- 09-01 PRESSURE WASH EXISTING INTERIOR & EXTERIOR WALLS AND SURFACES DAMAGED BY NEW WORK. SCRAPE OFF ANY UNSTABLE PAINT. PATCH AND REPAIR ANY DAMAGED SURFACES AND PREPARE SURFACES FOR NEW FINISHES PER PLAN.
- 09-02 NEW WALL TILE OVER NEW 1/2" CEMENT BOARD. SEE MATERIAL SCHEDULE & INTERIOR ELEVATIONS.
- 09-04 NEW 16 GAUGE STAINLESS STEEL COUNTERTOP OVER 3/4" CDX PLYWOOD MOUNTED AT 34" MAX. HEIGHT ABOVE FINISH FLOOR. ALL JOINTS TO BE WELDED, SEAMLESS, & FLUSH. PROVIDED WITH DIAGONAL METAL KNEE BRACES AND ATTACHED TO EXISTING CMU.
- 09-06 NEW MATCHING WALL QUARRY BASE TILE OVER NEW 5/8" CEMENT BOARD; 4" MINIMUM HEIGHT. SHOWNED WITH BOLD LINE ON RENOVATION PLAN. SEE FINISH MATERIAL SCHEDULE.
- 09-08 NEW FIBER GLASS REINFORCE PANEL (FRP) SYSTEM TO EXTEND FROM TOP OF COVED BASE TILE TO FULL HEIGHT WALL OVER EXISTING OR NEW 5/8" HIGH IMPACT & WATER RESISTANT GYP BOARD PROVIDED AT THE SNACK BAR ROOM, STORAGE ROOM #1 & #2.
- 10-01 NEW TACTILE ROOM ID SIGNAGE FOR RESTROOMS AT NEW LOCATION ON WALL. PROVIDE NEW TITLE 24 AND ADA-COMPLYING RESTROOM SIGNAGE. PATCH AND REPAIR WALL FINISHES AND SUBSTRATES MATERIALS DAMAGED BY RETROFIT WORK TO MATCH ADJACENT FINISH.
- 10-02 NEW GEOMETRIC SIGNAGE ON ENTRY DOOR TO RESTROOM. PROVIDE 12" DIA. CIRCLE AT WOMEN'S RESTROOM AND TRIANGLE AT MEN'S RESTROOM. COLOR OF GEOMETRIC SIGNS SHALL CONTRAST VISUALLY WITH THE DOOR COLOR.
- 10-03 NEW ONE-PIECE GRAB BAR (42"x54"), 1-1/2" OUTSIDE DIAMETER, STAINLESS STEEL FINISH. MOUNT TOP OF GRAB BAR 34" ABOVE FINISH FLOOR.
- 10-04 NEW TOILET PAPER DISPENSER, STAINLESS STEEL FINISH.
- 10-05 NEW SEAT COVER DISPENSER, STAINLESS STEEL FINISH. MOUNT TOP OF DISPENSER AT 40" MAX.
- 10-07 NEW WALL MOUNTED BABY CHANGING STATION. PROVIDE 30"x48" CLEAR FLOOR SPACE FRONT OF TABLE. DESIGN OF HANDLES AND CONTROLS (OPERABLE WITH ONE HAND, WITHOUT TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST) REQUIRED FORCE NOT TO EXCEED 5 LBS. PROVIDE STATION MOUNTING HEIGHT IN THE DOWN POSITION 34" MAXIMUM AND KNEE SPACE 27" MINIMUM ABOVE FINISH FLOOR AND TOE SPACE BENEATH 17" MIN. TO 25" MAX.
- 10-08 NEW SOLID PHENOLIC TOILET PARTITIONS. SEE FINISH MATERIAL SCHEDULE.
- 10-09 NEW SOLID PHENOLIC URINAL PARTITIONS @ 23" DEEP. SEE FINISH MATERIAL SCHEDULE.
- 10-12 PROVIDE NEW 1-1/2" DIAMETER STAINLESS STEEL WALL TO FLOOR DRINKING FOUNTAIN GRAB BAR TO SUPPORT LOADS OF 250 POUNDS.
- 10-17 PROVIDE NEW STAINLESS STEEL TABLE; 34" MAXIMUM HEIGHT FROM FINISH FLOOR WITH 4" HIGH SPLASH. MODEL: AERO 2TGBX2436 OR APPROVED EQUAL.
- 10-18 PROVIDE NEW STAINLESS STEEL TABLE; 34" MAXIMUM HEIGHT FROM FINISH FLOOR WITH 4" HIGH SPLASH. MODEL: AERO 2TGBX2448 OR APPROVED EQUAL.
- 22-02 NEW WALL MOUNTED PORCELAIN WATER CLOSET WITH CONCEAL FLUSHOMETER W/ PUSH BUTTON. SEE PLUMBING FIXTURE SCHEDULE.
- 22-03 NEW WALL MOUNTED PORCELAIN URINAL WITH CONCEAL FLUSHOMETER W/ PUSH BUTTON. SEE PLUMBING FIXTURE SCHEDULE.
- 22-04 NEW WALL MOUNTED PORCELAIN LAVATORY WITH METER FAUCET AND PIPE INSULATION TO FULLY COVER DRAIN/WATER PIPES AND EXPOSED SHARP/ABRASIVE SURFACES UNDER THE LAVATORY WITH A WHITE PVC LID SHIELD. SEE PLUMBING FIXTURE SCHEDULE.
- 22-05 NEW HOSE BIB TO MATCH EXISTING ONE AND SECURE EXISTING SUPPLY PIPE TO EXISTING BUILDING WALL.
- 22-11 ADJUST THE HEIGHT OF THE DRINKING FOUNTAIN TO PROVIDE 36" MAXIMUM HIGH BUBBLER ABOVE FINISH FLOOR. PROVIDE OR REPLACE ANY NEW WATER/DRAIN LINES NEEDED AND FITTINGS.
- 22-12 ADJUST THE HEIGHT OF THE DRINKING FOUNTAIN TO PROVIDE 38" MINIMUM TO 43" MAXIMUM HIGH BUBBLER ABOVE FINISH FLOOR. PROVIDE OR REPLACE ANY NEW WATER/DRAIN LINES NEEDED AND FITTINGS.
- 22-15 NEW ELECTRIC WATER HEATER. ATTACHED TO EXISTING METAL SEISMIC STRAPS AND PROVIDE ALL REQUIRED SUPPLY LINES, CONNECTIONS, POWER, AND HARDWARE AS NEEDED. SEE PLUMBING FIXTURE SCHEDULE.
- 23-01 NEW SUPPLY FAN COOK KSP-120B OR EQUAL. PROVIDED WITH ROOF CURB AND CEILING AND 2X ROOF BLOCKING'S WITH AS3'S AS NEEDED. MERV 13 FILTER, AND STANDARD MESH FILTER W/ MANUFACTURE FILTER BOX/BACK HARDWARE. EXTEND POWER FROM A SPARE BREAKER FROM THE EXISTING ELECTRICAL PANEL AND PROVIDE CONDUIT, CABLE, ETC. FOR AN INTERLOCKING SWITCH FROM THE EXISTING KITCHEN EXHAUST HOOD.
- 26-04 NEW SURFACE MOUNTED LED LIGHT FIXTURE LOCATED PER RENOVATION REFLECTED CEILING PLAN. PROVIDE LIGHT BULBS TO BE SHIELDED, COATED, OR SHATTER RESISTANT @ AREAS WHERE FOOD IS PREPARE, AND WHERE UNPACKAGED FOOD, AND CLEAN UTENSILS AND LINENS, ARE STORED.
- 26-05 NEW SURFACE MOUNTED WALL PACK LED VANDAL RESISTANT LIGHT FIXTURES TO MATCH EXISTING SIZE AT EXISTING LOCATION (FIELD VERIFY).
- 26-06 NEW SURFACE MOUNTED HAND DRYER. EXTEND ELECTRICAL WIRES FROM ADJACENT J-BOX.
- 26-07 NEW SURFACE MOUNTED AIR CURTAIN; MODEL STD242-1UA-0B OR APPROVED EQUAL. EXTEND POWER, ELECTRICAL WIRES WITH CONDUITS FROM ADJACENT J-BOX.

ACCESSORY SCHEDULE

NO.	EQUIP.	MANUF.	COLOR/MODEL NO.
101	Trimline Surface Mounted ADA Dryer	BOBRICK OR APPROVED EQUAL	B-7128 Series Silver
102	BOBRICK B-2888 CLASSIC SERIES SURFACE MOUNTED MULTI-ROLL TOILET TISSUE DISPENSER	BOBRICK OR APPROVED EQUAL	Stainless steel
103	SEAT COVER DISPENSER	BRADLEY CORPORATION	583
104	Bobrick B-5837 Wheelchair Toilet Compartment Two-Wall Grab Bar	Bobrick Washroom Equipment, Inc.	B-5837
105	Surface Mounted Soap Dispenser	AA-SD-PP-CDCR-304L-12G	
106	Bobrick B-254 Surface Mounted Sanitary Napkin Disposal	Bobrick Washroom Equipment, Inc.	B-254
107	CAMBRINO horizontal baby changing table for wall mounting, made of polypropylene with antibacterial BioBlock® protection, white colour, hinged, with integrated shock absorber for safe opening and closing, nylon safety belt and hooks on both sides, lockable dispenser for single-use paper covers in Interfold folding with maximum width 260 mm. Certified according to EN 12221-1 and EN 12221-2. Including mounting material and 80 single-use paper covers.	KWC Group AG	CAMB10HP
108	Bobrick B-165 1630 Channel Frame Mirror	Bobrick Washroom Equipment, Inc.	B-290 1630
109	Bobrick B-262 Classic Series Surface Mounted Paper Towel Dispenser	Bobrick Washroom Equipment, Inc.	B-262

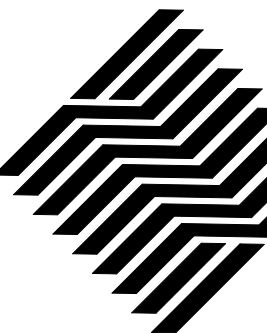
PLUMBING FIXTURE SCHEDULE

MARK	TYPE	DESCRIPTION
DF-1	DRINKING	EXISTING DRINKING FOUNTAIN. ADJUST HEIGHT FOR ONE DF TO BE AT 34" HIGH AND THE OTHER AT 38" HIGH FROM FINISH FLOOR. PROVIDE ALL NEEDED FITTINGS, WATER LINES, AND LINENS.
FD-1	FLOOR DRAIN	J.R. SMITH FIG. 2115-A FLOOR DRAIN WITH DUCO CAST BODY, ROUND, HEEL PROOF ADJUSTABLE STAINER GRATE WITH COMMON FRONT AND BACK DOUBLE DRAINAGE FLANGE, WEEP HOLES, 2" HUBLESS; FURNISH WITH TRAP PRIMER CONNECTION.
FS-1	FLOOR SINK	PROVIDE HEEL-PROOF GRATE, TRAP PRIMER CONNECTOR, AT LEAST HALF EXPOSED AND WITHIN 15 FEET OF THE EQUIPMENT. DRAIN LINES NEED TO BE AT LEAST 6 INCHES OFF THE FLOOR AND 1/2 INCH AWAY FROM WALLS. EACH FLOOR SINK NEEDS TO BE INSTALLED FLUSH WITH THE FINISH FLOOR.
HB-1	HOSE BIB	AMERICAN 8121
LAV-1	LAVATORY	AMERICAN STANDARD LUCERNE WALL-HUNG LAVATORY. VITREOUS CHINA, FURNISH IN WHITE. CHICAGO FAUCETS 3501-8E2805ABCP DECK MOUNTED 8" FIXED CENTERS HOT & COLD WATER METERING FAUCET, 0.5 GPM VANDAL PROOF NON-AERATING SPRAY, PROVIDE FOR ADA ACCESSIBILITY.
MS-1	MOP SINK	EXISTING MOP SINK, REMOVE, SAVE, AND REINSTALL WITH NEW FITTINGS. PROVIDED WITH NEW FAUCET WITH AN APPROVED VACUUM BREAKER.
S3C-1	SINK	EXISTING 3-COMPARTMENT SINK AND SINK FAUCET, REMOVE, SAVE, AND REINSTALL WITH NEW FITTINGS. PROVIDE DRAINAGE TO DRAIN TO FLOOR SINK.
SFP-1	SINK FOOD PREP	REGENCY 16 GAUGE STAINLESS STEEL COMPARTMENT SINK WITH 1 DRAINBOARD, 18"x18"x14" BOWL - RIGHT DRAINBOARD & BACKSPLASH. PROVIDED WITH ELKAY LK40LGN087H, 1.5 GPM WALL MOUNT DOUBLE WRIST HANDLE UTILITY FAUCET W/ BRASS HANDLES.
SHW-1	SINK HAND WASH	REGENCY STAINLESS STEEL WALL MOUNTED HAND SINK, SELF RIMMING, 20 GAUGE TYPE 304 STAINLESS STEEL, UNDERSIDE SOUND COATING WITH 2-HOLE STANDARD, 8" BACKSPLASH, MVP FAUCETS 802-665CP DECK-MOUNTED 4" FIXED CENTERS HOT AND COLD WATER METERING SINK FAUCET 2.2 GPM AERATOR, 1-3/4" VANDAL PROOF MVP METERING PUSH.
UR-1	URINAL	AMERICAN STANDARD WASHROOM FLOWISE 6590.503 0.125 GPF EXPOSED TOP SPUD URINAL AND SENSOR-OPERATED URINAL FLUSH VALVE, MODEL 6045SM.01 3.002, VITREOUS CHINA, ULTRA HIGH EFFICIENCY URINAL SYSTEM, WASHOUT FLUSH ACTION, 3/4" INLET SPUD, OUTLET CONNECTION THREADED 2" INLET, STRAINER INCLUDED, OPERATING PRESSURE RANGE OF 20 TO 80 PSI
WC-1	WATER CLOSET	AMERICAN STANDARD MADERA FLOWISE 16-1/2" HEIGHT ELONGATED FLUSHOMETER TOILET, WHITE, CEC LISTED HARDWARE INSTALLATION, FLOOR MOUNT FLUSHOMETER VALVE CHOLET, VITREOUS CHINA 1 1/4" GPF WC WITH CONCEALED FLUSHOMETER WITH PUSH BUTTON ON OPEN SIDE OF STALL, SLOAN ROYAL FLUSH VALVE WITH 1.28 GPF, MODEL 111-1.28
WH-1	WATER HEATER	RHEEM 40A-12-G ELECTRIC WATER HEATER, 40 GALLON TANK TYPE WITH 208V-3PH 12 KW FIRING ELEMENT, FURNISH WITH 1&R SYSTEM SENTINEL, INTERNAL POWER AND CONTROL CIRCUIT FUSING, MAGNETIC CONTRACTORS, 120V CONTROL CIRCUIT TRANSFORMER, IMMERSION THERMOSTAT WITH MANUAL RESET HIGH LIMIT.

NOTE: ALL FLOOR SINKS NEED TO BE AT LEAST HALF-EXPOSED OR BE IN-LINE WITH THE FRONT FACE OF ELEVATED FREESTANDING EQUIPMENT. AND WITHIN 15 FEET OF THE CONDENSATE-PRODUCING EQUIPMENT. DRAIN LINES NEED TO BE AT LEAST 6 INCHES OFF THE FLOOR AND 1/2 INCH AWAY FROM WALLS. EACH FLOOR SINK NEEDS TO BE INSTALLED FLUSH WITH THE FINISHED FLOOR.

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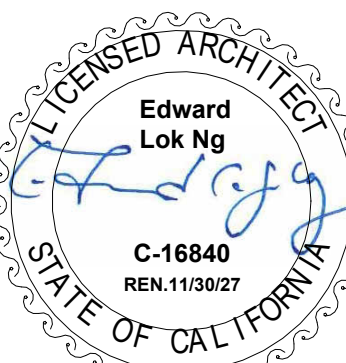
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Designer: LA
CAD Draft: RM
Architect: LOK
Engineer: EDA
Client: PVPD
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Job Number: 3153

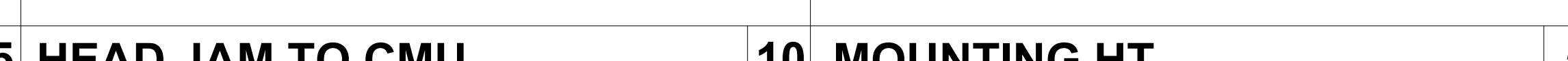
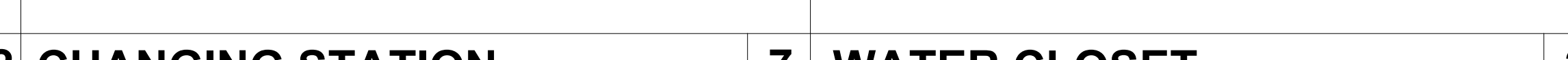
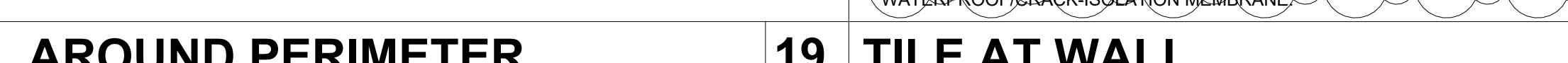
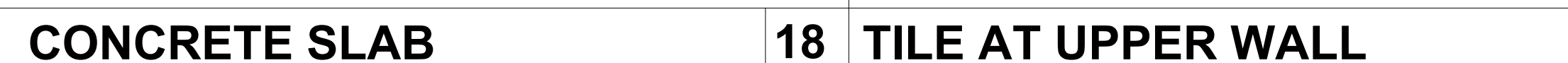
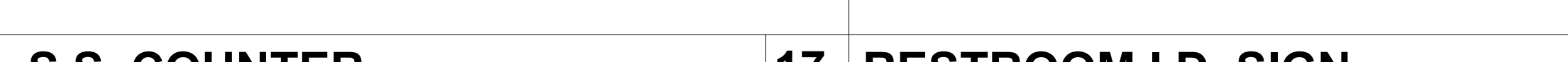
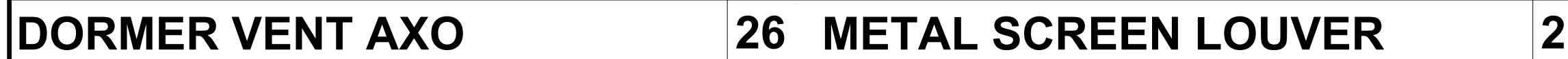
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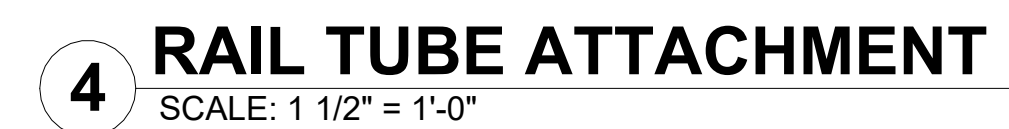
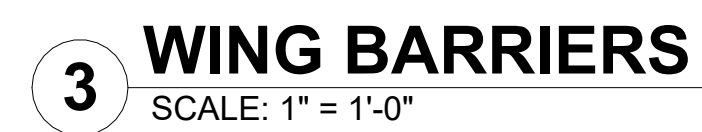
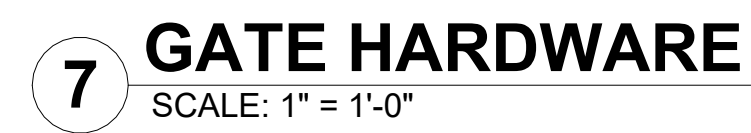
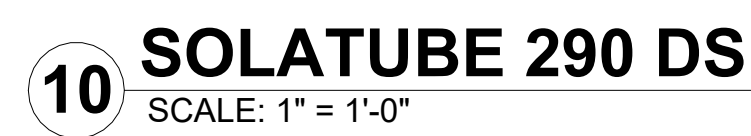
Consultant:



• INTERIOR ELEVATION,
• SECTIONS, SCHEDULES

A3.0



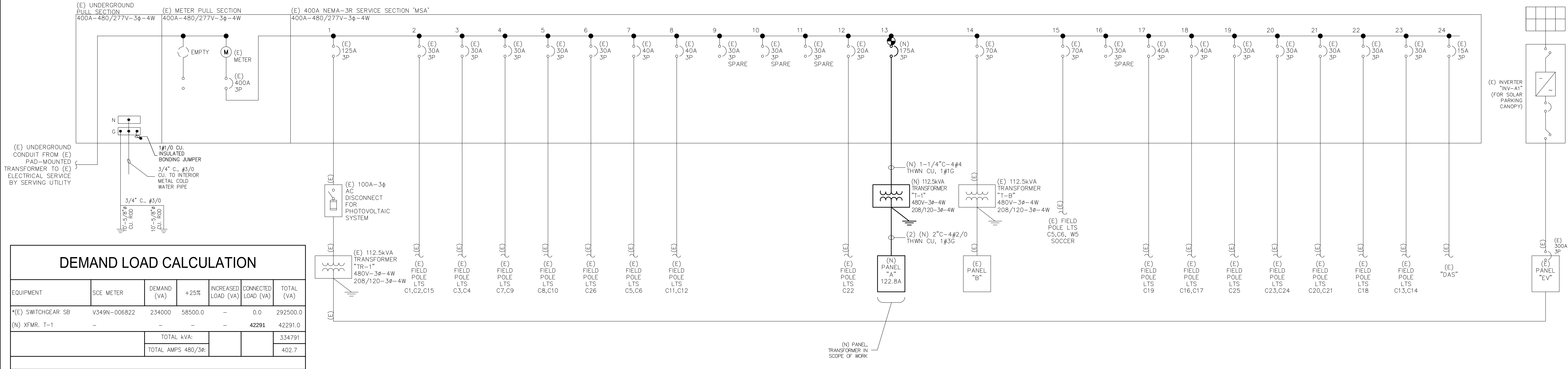


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(N) PANEL "A"										VOLTAGE/PHASE: 208/120, 3ø, 4W										FEED FROM: "T-1"									
LOCATION: 100 - ELEC VAULT										BUS AMPS: 400A										TBD KAIC									
MOUNTING: SURFACE										MAIN BREAKER: MLO																			
E = EXISTING																													
LOADS										OUTLETS										LOADS									
WH-1	SEE NOTE	MISC	REC	LIT	A	B	C	OKT	BKR / BKR-ABC	POLE	OKT	A	B	C	MISC	REC	LIT	SEE NOTE											
---					3333			3	1	40	---	20/1	2	180					SNACK BAR RPT										
---					3333			5	---	20/1	4	---	20/1	4	1200					FOOD WARMER									
M. HAND DRYER					920			7	20/1	---	20/1	8	1800							FOOD WARMER									
M. HAND DRYER					920			9	20/1	---	20/1	10	1764							COFFEE BREWER									
REFRIGERATOR								11	20/1	---	20/1	12		840						CAPPUCCINO MACHINE									
STRG. MAINT. RPT					540			13	20/1	---	20/1	14	1704							BVRG REFRIGERATOR									
DWV REFRIGERATOR					1044			15	20/1	---	20/1	16	1440							ICE MAKER									
FREEZER								17	20/1	---	20/1	18		1884						SOBA DISPENSER									
STRG. AIR CURTAIN					408			19	20/1	---	20/1	20	360							KIT. AIR CURTAIN									
KITCHEN HOOD					1800			21	20/1	---	20/1	22		297						KITCHEN RPTS									
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---					---			25	---	20/1	26	324								LCL SMOKECHOK UNITS									
---					---			27	3	---	15	28	728							LCL EXTERIOR LTS									
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---					---			33	3	---	15	34	728							---									
MAKE-UP AIR UNIT	LCL				793			35	20	---	15	36		416						LCL RR BLDG SITE LTS									
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CONTRACTOR SHALL VERIFY EXISTING
CONDITION / CONFIGURATION OF
SWITCHGEAR PRIOR TO INSTALLATION
OF (N) BREAKER, TRANSFORMER,
ASSOCIATED SERVICES DOWNSTREAM



S I N G L E L I N E D I A G R A M

N O T U S E D

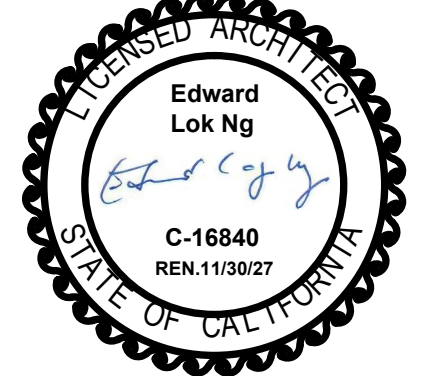
BOA
Architecture
Interiors
Planning

FREEDOM PARK
RESTROOM AND
SNACK BAR BUILDING
ACCESSIBILITY
IMPROVEMENTS
275 E PLEASANT VALLEY RD, CAMARILLO, CA 93010

DATE	10/25/2024
BY	EDWARD LOK NG
CHECKED	
REVIEWED	
APPROVED	

Designer:	LA
CAD Draft:	RM
Architect:	Lok
Engineer:	PVPPD
Client:	PVPPD
Date Issue:	2-4-2025
Job Number:	3153

Client:	
Consultant:	



• SINGLE LINE DIAGRAM
•

E1.1

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PROJECT NOTES

1. GENERAL

A. ADMINISTRATIVE

1) BASIS OF WORK

a. SCOPE OF WORK SHALL BE AS IDENTIFIED HEREIN THESE DRAWINGS ON SHEET E-1, FOR COMPLETE AND OPERABLE FACILITY AND INSTALLATION.

b. ALL WORK SHALL COMPLY WITH THE FOLLOWING CODES AS ADOPTED AND AS AMENDED BY THE INSPECTING AUTHORITY:

i) CALIFORNIA BUILDING CODE (2022).

ii) CALIFORNIA ELECTRICAL CODE (2022).

iii) CALIFORNIA MECHANICAL CODE (2022).

iv) CALIFORNIA PLUMBING CODE (2022).

v) CALIFORNIA ADMINISTRATIVE CODE – TITLE 24 (2022).

vi) CALIFORNIA FIRE CODE (2022).

vii) AMENDMENTS AS ADOPTED BY LOCAL AUTHORITIES.

c. ALL EQUIPMENT AND HARDWARE SHALL BE PROVIDED FOR LISTED INSTALLATIONS AND APPLICABLE INDUSTRY STANDARDS. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

d. ALL TERMS CITED HEREIN LEND TO THE ELECTRICAL CONTRACTOR, WHETHER ACTING AS A PRIME CONTRACTOR OR AS A SUB CONTRACTOR. HEREINAFTER, THE ELECTRICAL CONTRACTOR IS REFERRED TO AS THE CONTRACTOR, AND REQUIREMENTS OF THESE NOTES SHALL DIRECT SAID CONTRACTOR TO ACCOMPLISH TASKS AS CITED HEREIN.

2) CONTRACTURAL OBLIGATIONS

a. PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKMAN'S COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK.

b. APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS OF CITY AND STATE. FOR CONTRACTOR'S EXPENSE OF SECURING PERMITS (AS AGREED TO), SUBMIT TO OWNER FOR REIMBURSEMENT OF COST OF PERMITS AND ASSOCIATED FEES AS CHARGED BY CITY (AND / OR ASSOCIATED JURISDICTIONS).

c. PROVIDE A LIST OF SUBCONTRACTORS TO ARCHITECT PRIOR TO THE START OF WORK.

3) BIDDING

a. DURING PRICING PERIOD, CONFIRM IN WRITING THE APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND NOTIFY OWNER'S REPRESENTATIVE IN WRITING OR ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE UNAVAILABILITY OF SPECIFIED PRODUCTS.

b. UPON SUBMITTAL OF THE FINAL CONSTRUCTION COSTS, SUBMIT A SPECIFIC CONSTRUCTION SCHEDULE INDICATING THE REQUIRED CONSTRUCTION TIME FOR ALL SUBCONTRACTORS AND CONTRACTOR'S WORK.

c. ORDER ALL MATERIALS IN TIME TO MAINTAIN THE APPROVED CONSTRUCTION SCHEDULE. SUBSTITUTIONS MAY BE CONSIDERED DUE TO THE CONTRACTOR'S DELAY IN ORDERING SPECIFIED LONG LEAD ITEMS. ALL SUBSTITUTION MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE PRIOR TO ANY ORDER PLACEMENT OR PURCHASE. ANY SUBSTITUTION INSTALLED WITHOUT APPROVAL WILL BE REJECTED AND REPLACED AT CONTRACTOR'S EXPENSE.

d. PROVIDE HARDWARE RATED FOR REQUIRED KAIC PROTECTION. IN EVENT FAULT CURRENT CALCULATIONS ARE NOT PROVIDED ON PLANS, VERIFY KAIC RATING REQUIREMENTS PRIOR TO BIDDING SO AS TO SECURE CORRECT BREAKER RATINGS (ET AL).

e. ACCOUNT FOR ADDITIONAL OFFSETS, FITTINGS, HARDWARE, ET AL AS NECESSARY TO ACCOMMODATE REQUIREMENTS FOR FIELD CONDITIONS AND COORDINATION BETWEEN DISCIPLINES.

f. INCLUDE ALL NECESSARY LABOR, TRANSPORTATION AND EQUIPMENT NECESSARY TO INSTALL SUCH WORK.

g. ACCOUNT FOR ANY AND ALL OVERTIME COSTS.

4) SUBMITTALS

a. SHALL SUBMIT SHOP DRAWINGS, AND / OR DESCRIPTIVE DATA AND SAMPLES OF ALL EQUIPMENT, FIXTURES, HARDWARE, FINISHES, MILLWORK, ET AL FOR APPROVAL BY THE ARCHITECT PRIOR TO INSTALLATION.

b. ADDITIONAL REQUIREMENTS FOR SUBMITTAL INFORMATION IS PROVIDED HEREINAFTER.

5) RECEIVING AND STORAGE

a. RECEIVE, STORE AND SECURE ALL EQUIPMENT, FIXTURES, HARDWARE, FINISHES, MILLWORK, ET AL ON SITE OR AS OTHERWISE ARRANGED FOR BY CONTRACTOR.

6) GUARANTEE

a. PROVIDE ONE YEAR GUARANTEE TO CONTRACTOR ON PARTS AND LABOR EXCEPT AS OTHERWISE SPECIFIED HEREIN.

2. PRODUCTS

A. GENERAL

B. EQUIPMENT

1) PROVIDE ALL EQUIPMENT WITH COPPER BUSS BARS AND WINDINGS UNLESS SPECIFICALLY NOTED TO OWNER'S REPRESENTATIVE IN WRITING.

C. HARDWARE

1) PROVIDE ALL HARDWARE WITH COPPER BUSS BARS AND WINDINGS UNLESS SPECIFICALLY NOTED TO OWNER'S REPRESENTATIVE IN WRITING.

2) PROVIDE ALL CONDUCTORS SHALL BE COPPER, MINIMUM SIZE #12 AWG, CONDUCTOR #10 AWG AND SMALLER SHALL BE SOLID. CONDUCTOR #8 AWG AND LARGER SHALL BE STRANDED. CONDUCTOR SHALL HAVE THINN INSULATION.

3) ALL CIRCUITING THROUGHOUT SHALL BE INSTALLED IN EMT UNLESS OTHERWISE SPECIFICALLY ALLOWED. CONTRACTOR MAY INSTALL MC CABLE IN PARTITION WALLS AND PLENUM SPACES FOR WRITTEN REQUEST AND RESPONSE IN WRITING FROM OWNER'S REPRESENTATIVE AND AS ALLOWED BY JURISDICTION HAVING AUTHORITY. MC CABLE FOR ISOLATED CIRCUITES SHALL HAVE TWO (2) SEPARATE GROUNDDING CONDUCTORS.

4) ALL CONNECTIONS TO DEVICES SHALL BE TAPED WITH SCOTH 33 ELECTRICAL TAPE.

3. EXECUTION

A. GENERAL

1) DOCUMENTATION

a. ALL ABBREVIATIONS USED ON DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, OWNER'S REPRESENTATIVE SHALL BE NOTIFIED FOR CLARIFICATION.

b. DRAWINGS ARE DIAGRAMMATIC IN NATURE, AND DO NOT ACCOUNT FOR EVERY ASPECT OF INSTALLATION AS NECESSARY TO ACCOMMODATE FIELD CONDITIONS. CONTRACTOR SHALL CHECK CONTRACT DOCUMENTS, FIELD CONDITIONS, DIMENSIONS, AND SCALES FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN FOR A COMPLETE AND OPERABLE AND OPERATIONAL INSTALLATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR TO REVIEW AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.

c. ANY CONDITIONS NOT DOCUMENTED ON THESE DRAWINGS OR OBSERVED TO BE DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- d. DO NOT SCALE DRAWINGS. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR SHALL CLARIFY WITH OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.

e. VERIFY ALL DIMENSIONS SHOWN ON DRAWINGS BY FIELD MEASUREMENTS. BEFORE COMMENCING WORK, CHECK ALL LINES AND LEVELS INDICATED. IMMEDIATELY REPORT DISCREPANCIES TO THE OWNER'S REPRESENTATIVE FOR CORRECTION AND ADJUSTMENT. PROVIDE PROPER FIT AND ATTACHMENT OF ALL PARTITIONS AND CONSTRUCTION MATERIALS.

f. ALL DIMENSIONS NOTED "MINIMUM", "CLEAR", OR "VERIFY" ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCES ARE TO BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE TERMS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLAN. NOTED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED ONES.

g. ADVISE OWNER'S REPRESENTATIVE OF ALL CONFLICTS THAT EXIST AT THE LOCATIONS OF ALL OF THE MECHANICAL, TELEPHONE, ELECTRICAL, LIGHTING, PLUMBING AND SPRINKLER EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUITS) AND SHALL PROVIDE OWNER'S REPRESENTATIVE WITH ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF THE ABOVE EQUIPMENT.

h. KEEP A PROJECT RECORD SET CONSISTING OF DRAWINGS MARKING ALL CHANGES TO THE ORIGINAL DRAWINGS THROUGHOUT THE COURSE OF THE PROJECT. DELIVER "MARKED-UP" REPRODUCIBLE COPY TO OWNER'S REPRESENTATIVE AT THE COMPLETION OF THE PROJECT.

2) STANDARD OF CARE

a. REVIEW AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK. ANY CONDITIONS NOT DOCUMENTED ON THESE DRAWINGS OR OBSERVED TO BE DIFFERENT THAN THOSE SHOWN ON THE DRAWINGS ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCING WORK.

b. IF ANY MATERIALS OR PRODUCTS ARE INSTALLED WITHOUT FIRST PROVIDING THE REQUIRED SUBMITTALS OR SHOP DRAWINGS FOR APPROVAL, THOSE MATERIALS OR PRODUCTS ARE SUBJECT TO BEING REMOVED AND CORRECTLY REINSTALLED AT FULL COST TO THE CONTRACTOR.

c. WORK SHALL BE COMMENSURATE TO FINISHED CONDITIONS WITHIN SPACE AND / OR STRUCTURE, AND / OR TO STANDARDS ESTABLISHED IN COMMENSURATE TERMS.

d. NO WORK, DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE DRAWINGS OR NOTES, WILL BE FOUND ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFECT AND DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

e. WORK WHICH CREATES NOXIOUS ODORS SHALL BE PERFORMED AT A TIME OF AGREEABLE WITH, AND COORDINATED THROUGH THE OWNER'S REPRESENTATIVE AND PER JURISDICTIONAL/GOVERNMENTAL REQUIREMENTS.

f. PROVIDE AN EMERGENCY POWER SOURCE FOR EXIT AND EXIT WAY ILLUMINATION.

g. KEEP ALL BUILDING AREAS CLEAN AND FREE OF ACCUMULATED DIRT AND DEBRIS. AT THE COMPLETION OF CONSTRUCTION, REMOVE ANY SURPLUS MATERIALS, DEBRIS AND EQUIPMENT.

3) COORDINATION OF CONSTRUCTION EFFORT

a. ORDER ALL MATERIALS IN TIME TO MAINTAIN THE APPROVED CONSTRUCTION SCHEDULE.

b. COORDINATE SCHEDULE WITH ALL CONTRACTORS, OWNER'S VENDORS, AND PARTIES INSTALLING ITEMS NOT IN CONTRACT AND ITEMS PROVIDED BY OTHERS.

c. THE CONTRACTOR SHALL COORDINATE SCHEDULE FOR ALL SUBCONTRACTORS, OWNER'S VENDORS, AND PARTIES INSTALLING ITEMS NOT IN CONTRACT AND ITEMS PROVIDED BY OTHERS.

d. THE CONTRACTOR SHALL ORDER MATERIALS IN TIME TO MAINTAIN THE APPROVED CONSTRUCTION SCHEDULE.

e. COORDINATE INSTALLATION OF ALL WORK FOR THE LAYOUT AND EXACT LOCATION OF ALL CEILINGS AND WALLS AND PARTITIONS, OPENINGS FOR DOORS AND WINDOWS, LIGHT FIXTURES. ELECTRICAL / TELEPHONE OUTLETS AND LIGHT SWITCHES, HVAC EQUIPMENT AND HARDWARE, PLUMBING EQUIPMENT AND FIXTURES AND HARDWARE AND SERVICES WITH ALL CONTRACTORS.

f. COORDINATE INSTALLATION OF ALL WORK BY THE OWNER'S VENDORS (I.E. SITE / CIVIL / UTILITIES, SIGNAGE, FIRE / LIFE SAFETY, DATA CABLING, SECURITY SYSTEM, AUDIO VISUAL, ET AL) WITH OTHER TRADES.

g. COORDINATE INSTALLATION OF ALL WORK BY SUBCONTRACTORS FOR THE LAYOUT AND EXACT LOCATION OF ALL CEILINGS AND WALLS AND PARTITIONS, OPENINGS FOR DOORS AND WINDOWS, LIGHT FIXTURES, ELECTRICAL / TELEPHONE OUTLETS AND LIGHT SWITCHES, HVAC EQUIPMENT AND HARDWARE, PLUMBING EQUIPMENT AND FIXTURES AND HARDWARE AND SERVICES WITH OWNER'S REPRESENTATIVE IN THE FIELD.

h. COORDINATE INSTALLATION OF ALL WORK BY THE OWNER'S VENDORS (I.E. SITE / CIVIL / UTILITIES, SIGNAGE, FIRE / LIFE SAFETY, DATA CABLING, SECURITY SYSTEM, AUDIO VISUAL, ET AL) WITH OTHER TRADES.

i. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ITEMS NOT IN CONTRACT AND ITEMS PROVIDED BY OTHERS WITH OTHER TRADES.

4) PLACEMENT OF EQUIPMENT AND HARDWARE

a. ALL DIMENSIONS NOTES "CLR" ARE CLEAR AND ARE NOT ADJUSTABLE WITHOUT APPROVAL FROM ARCHITECT.

b. ALIGN PARTITIONS ADJACENT TO BASE BUILDING COLUMNS OR WALL WITH THE FACE OF FINISHED COLUMN SURFACE, UNLESS NOTED OTHERWISE.

c. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT REVIEW BY ARCHITECT UNLESS NOTED OTHERWISE.

d. ARRANGE AND PLACE ALL FRAMING MEMBERS TO PERMIT INSTALLATION OF PIPE, CONDUITS, AND DUCTWORK WITH MINIMAL CUTTING. ALL NECESSARY CUTTING, BLOCKING, BRACING, SUPPORTING AND REPAIRING SHALL BE APPROVED BY ARCHITECT.

e. ARRANGE AND PLACE CEILING MOUNTED FIXTURES AND HARDWARE PER THE REFLECTED CEILING PLAN PROVIDED AS PART OF THE ARCHITECTURAL PLANS.

f. ACCESS TO AND CLEARANCE AROUND ALL EQUIPMENT AND HARDWARE AS REQUIRED BY CODE AND BY EQUIPMENT MANUFACTURER.

g. PROVIDE ACCESS PANELS IN LOCATIONS AS REQUIRED FOR HARDWARE REQUIRING ACCESS.

h. COORDINATE INSTALLATION WITH OTHER TRADES AS TO EQUIPMENT AND HARDWARE ASSOCIATED WITH RESPECTIVE TRADES FOR NECESSARILY CONDUIT AND WIRING AND SENSORS AND CONTROLS.

5) INTEGRITY OF CONSTRUCTION

a. X-RAY SLABS AND WALLS IN LOCATIONS OF PENETRATIONS PRIOR TO SAWCUTTING OR CORING.

b. MAINTAIN AND / OR MODIFY AND / OR PROVIDE NEW STRUCTURAL CONSTRUCTION, ANCHOR AND BRACE EQUIPMENT, HARDWARE, ASSEMBLIES, ELEMENTS OF CONSTRUCTION, ET AL AS REQUIRED BY CODE.

c. PROVIDE INSTALLATIONS PLUMB AND CRAFTSMAN LIKE, TO PROVIDE FOR MAXIMUM CLEARANCES AND MINIMUM IMPOSITION, AND COMMENSURATE WITH EXISTING CONDITIONS AND / OR GRADE OF CONSTRUCTION OF OVERALL JOB.

d. DO BORE OR NOTCH STRUCTURAL ELEMENTS WITHOUT WRITTEN AUTHORIZATION FROM ARCHITECT.

e. PROVIDE EQUIPMENT, HARDWARE, AND TREATMENTS WHERE NEW INSTALLATIONS PENETRATE NEW OR EXISTING RATED ELEMENTS OF CONSTRUCTION.
- f. MAINTAIN AND / OR MODIFY AND / OR PROVIDE NEW FIRE SUPPRESSION AND FIRE ALARM SYSTEMS AS REQUIRED BY CODE.

B. EQUIPMENT

1) INSTALL EQUIPMENT AND ASSOCIATED COMPONENTS AND ELECTRICAL SYSTEMS IN ACCORDANCE WITH REQUIREMENTS OF EQUIPMENT MANUFACTURER.

C. HARDWARE

1) PROVIDE ALL NECESSARY SUPPORTS, FASTENERS, BLOCKING AND BACKING AS REQUIRED TO INSTALL ELECTRICAL SYSTEM. ELECTRICAL SYSTEMS SHALL BE GROUNDED.

2) PROVIDE HARDWARE RATED FOR REQUIRED KAIC PROTECTION. IN EVENT FAULT CURRENT CALCULATIONS ARE NOT PROVIDED ON PLANS, CONTRACTOR SHALL VERIFY KAIC RATING REQUIREMENTS PRIOR TO PROCUREMENT AND INSTALLATION SO AS TO SECURE CORRECT BREAKER RATINGS (ET AL).

3) INSTALL ALL SWITCHES AND THERMOSTATS SHOWN AT +48" ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED ON PLAN. ALL HEIGHTS ARE GIVEN FROM TOP TO FINISH FLOOR TO CENTERLINE OF COVER PLATE, MOUNTED VERTICALLY LENGTHWISE, WHEN MORE THAN ONE SWITCH IS REQUIRED AT THE SAME LOCATION, GANG AND FINISHED WITH A ONE PIECE COVER PLATE. PROVIDE BARRIERS AS REQUIRED FOR DIFFERENT VOLTAGE AND PHASE AS REQUIRED.

4) INSTALL WALL MOUNTED TELEPHONE AND ELECTRICAL OUTLETS +18" ABOVE FLOOR UNLESS OTHERWISE NOTED. UNLESS NOTED OTHERWISE, ALL OUTLET HEIGHTS ARE GIVEN FROM FINISH FLOOR TO CENTERLINE OF LOWER PLUG.

5) OFFSET ALL OUTLETS SHOWN BACK-TO-BACK IN PARTITIONS THE MINIMUM DIMENSION REQUIRED (WITHOUT TOUCHING) TO AVOID BACK TO BACK INSTALLATIONS. DO NOT LOCATED OUTLETS BACK TO BACK IN FIRE RATED WALLS.

6) ALL CONDUITS AND JUNCTION BOXES CONCEALED IN FINISHED AREAS SHALL BE REVEALED BY OWNER'S REPRESENTATIVES PRIOR TO CONCEALMENT AND FINISH TREATMENTS.

7) PROVIDE RECEPTACLES IN CONCEALED SPACES AND ON ROOFTOP AS REQUIRED IN VICINITY OF HVAC EQUIPMENT IN ATTIC SPACES. PROVIDE GFCI CONFIGURATIONS AS NECESSARY.

8) PROVIDE SHOW WINDOW LIGHTING RECEPTACLES AT STOREFRONT / WINDOWS ADJACENT TO PUBLIC WAY.

9) ALL COVER PLATES AND SWITCH PLATES SHALL BE THE SAME FINISH THROUGHOUT THE BUILDING, UNLESS NOTED OTHERWISE AS SELECTED BY THE ARCHITECT.

10) VERIFY DOOR SWINGS PRIOR TO INSTALLATION OF LIGHT SWITCHES.

11) INSTALL ALL EXPOSED CONDUIT WITH A VISIBLE FINISHED PRODUCT COMMENSURATE WITH FACILITY AND GRADE OF INSTALLATION. EXPOSED CONDUIT LAYOUTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.

12) PROVIDE PULL STRINGS FROM OUTLETS TO CEILING SPACE. PROVIDE MULTIPLE PULL STRINGS ACCORDINGLY.

13) MAINTAIN CONTINUITY OF EXISTING CIRCUITING FOR EQUIPMENT AND HARDWARE MAINTAINED AS PART OF THIS PROJECT. THE CONTRACTOR SHALL TRACE ALL EXISTING CIRCUITS IN THE AREA OF CONSTRUCTION BACK TO SOURCE.

C. PANELS

1) LOCATE NO ELECTRICAL PANELS WITHIN FIRE RATED CORRIDORS.

D. LIGHTING

1) FURNISH AND INSTALL ALL NEW FIXTURES AND FIXTURE LAMPS.

2) LIGHT FIXTURES, LENSES, ETC., SHALL BE NEW AND ABSOLUTELY FREE OF DEFECTS. ANY AND ALL DAMAGE, DENTED, OR DEFECTIVE EQUIPMENT WILL BE REJECTED.

3) LIGHTING FIXTURES SHALL BE INDIVIDUALLY SUPPORTED FROM STRUCTURAL FRAMING MEMBERS ABOVE.

4) PROVIDE LIGHTING AND ASSOCIATED SWITCHING IN CONCEALED SPACES AS REQUIRED IN VICINITY OF HVAC EQUIPMENT IN ATTIC SPACES.

5) EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A MINIMUM VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.

E. CONTROLS

1) ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE RATED CORRIDORS.

F. SPECIALTIES

1) CONNECT EXIT SIGNS TO AN EMERGENCY ELECTRIFIED POWER SYSTEM (STORAGE BATTERIES, UNIT EQUIPMENT, OR AN ON-SITE GENERATOR SET) OR AN APPROVED SELF-LUMINOUS SYSTEM THAT PROVIDES CONTINUOUS ILLUMINATION INDEPENDENT OF THE EXTERNAL POWER SOURCE TO ENSURE THAT THE EXIT SIGNS ARE ILLUMINATED AT ALL TIMES

G. ACCEPTANCE

1) IDENTIFY AND LABEL CIRCUITING FOR ALL EQUIPMENT AND HARDWARE WITH ENGRAVED ACRYLIC WHITE ON BLACK ADHESIVE LABELS

2) REPAIR OR REPLACE ANY DAMAGED CONSTRUCTION ADJACENT TO WORK PROVIDED UNDER THIS SCOPE OF WORK.

3) EQUIPMENT AND HARDWARE SHALL BE IDENTIFIED VIA ENGRAVED ACRYLIC WHITE ON BLACK ADHESIVE LABELS, MANUFACTURED PIPE LABELS, CIRCUIT TAGS AND COMPLETED PANEL SCHEDULE LINE CARDS, ET AL.

4) AT THE COMPLETION OF THE INSTALLATION TEST EQUIPMENT AND HARDWARE FOR AND DEMONSTRATE TO OWNER'S REPRESENTATIVES PROPER OPERATION, AND MAKE ADJUSTMENTS AS REQUIRED. DELIVER VALIDATED CERTIFICATES, WARRANTIES AND GUARANTEES FOR NEW EQUIPMENT TO OWNER'S REPRESENTATIVE.

5) MAINTAIN ONE SET OF REPRODUCIBLE DRAWINGS OF "AS-BUILT" CONDITIONS AND AT THE COMPLETION OF THE PROJECT SHALL SUBMIT SAME TO THE ARCHITECT.

6) TERMS CITED HEREIN ARE REFLECTIVE OF OR IN ADDITION TO REQUIREMENTS FOR COMPLIANCE OF INSTALLATION TO APPLICABLE CODES. SUBMIT TO OWNER'S REPRESENTATIVE FOR APPROVAL OF DEVIATION FROM SAID TERMS.

DATE	BY	CHK
11/15/2024	EDWARD LOK NG	
11/15/2024	EDWARD LOK NG	

Designer:	LA
CAD Draft:	RM
Architect:	Lok
Engineer:	
Client:	PVFPD
Date Issue:	2-4-2025
Job Number:	3153

Client:	
Consultant:	

- PROJECT NOTES
 -
 -

E1.2

Architecture
Interiors
Planning

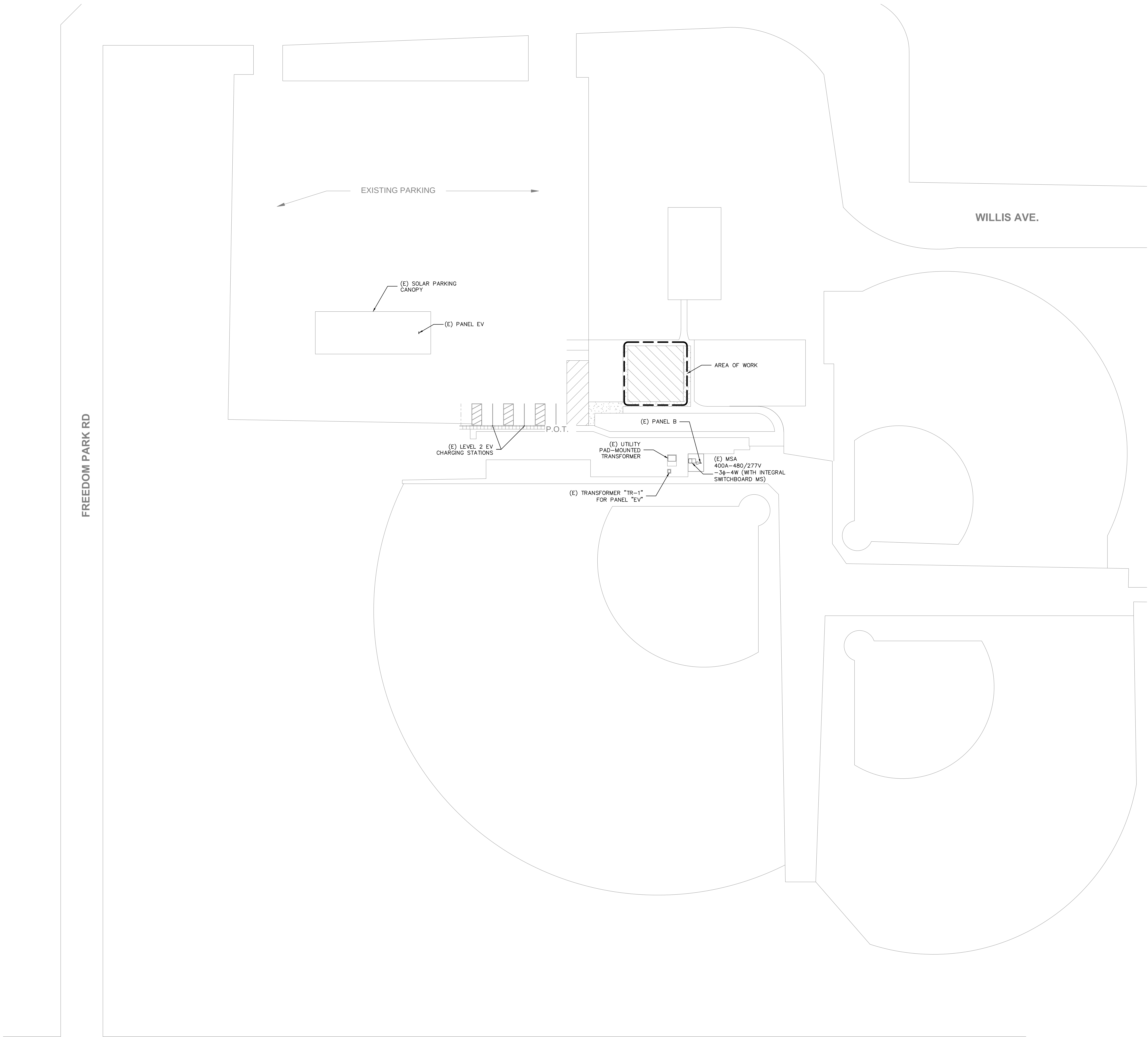
BOA

FREEDOM PARK
RESTROOM AND
SNACK BAR BUILDING
ACCESSIBILITY
IMPROVEMENTS

1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900

275 E PLEASANT VALLEY RD., CAMARILLO, CA 93010

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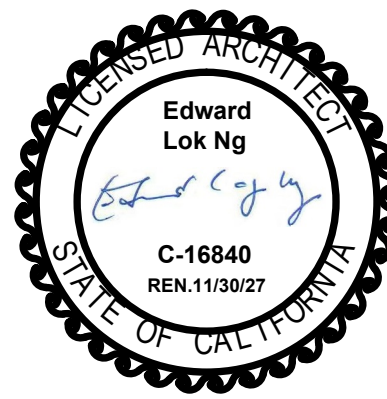
S I T E P L A N

SCALE: 1/32"=1'-0"



Client:

Consultant:



• SITE PLAN
•
•

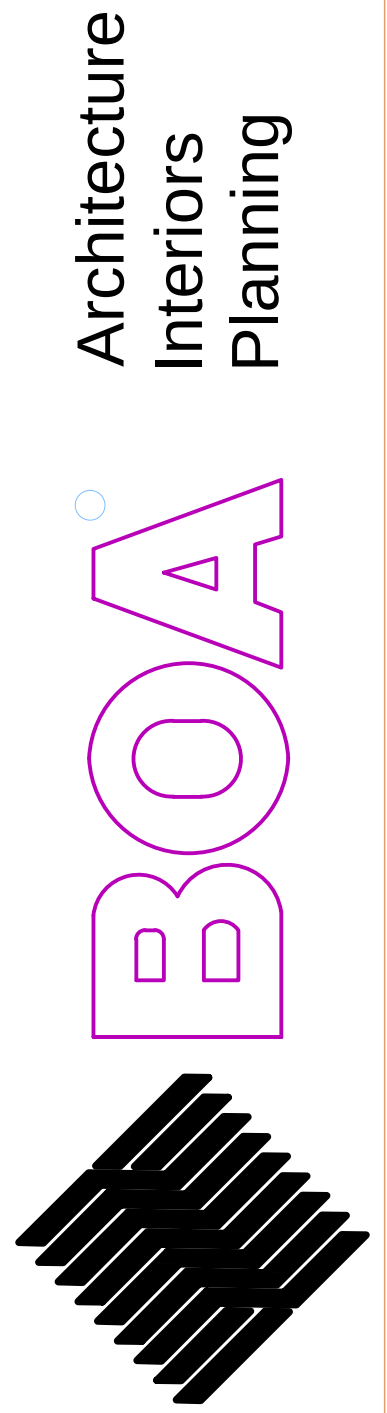
E2.0

Designer: LA
CAD Draft: RM
Architect: Lok
Engineer: PVRPD
Date Issue: 2-4-2026
Job Number: 3153

REV	DATE	BY	CHK
1	02/25/2026	EDWARD F. NG	

FREEDOM PARK
RESTROOM AND
SNACK BAR BUILDING
ACCESSIBILITY
IMPROVEMENTS

275 E PLEASANT VALLEY RD, CAMARILLO, CA 93010



1511 Cota Ave. Long Beach, CA 90813 Tel. 562.912.7900

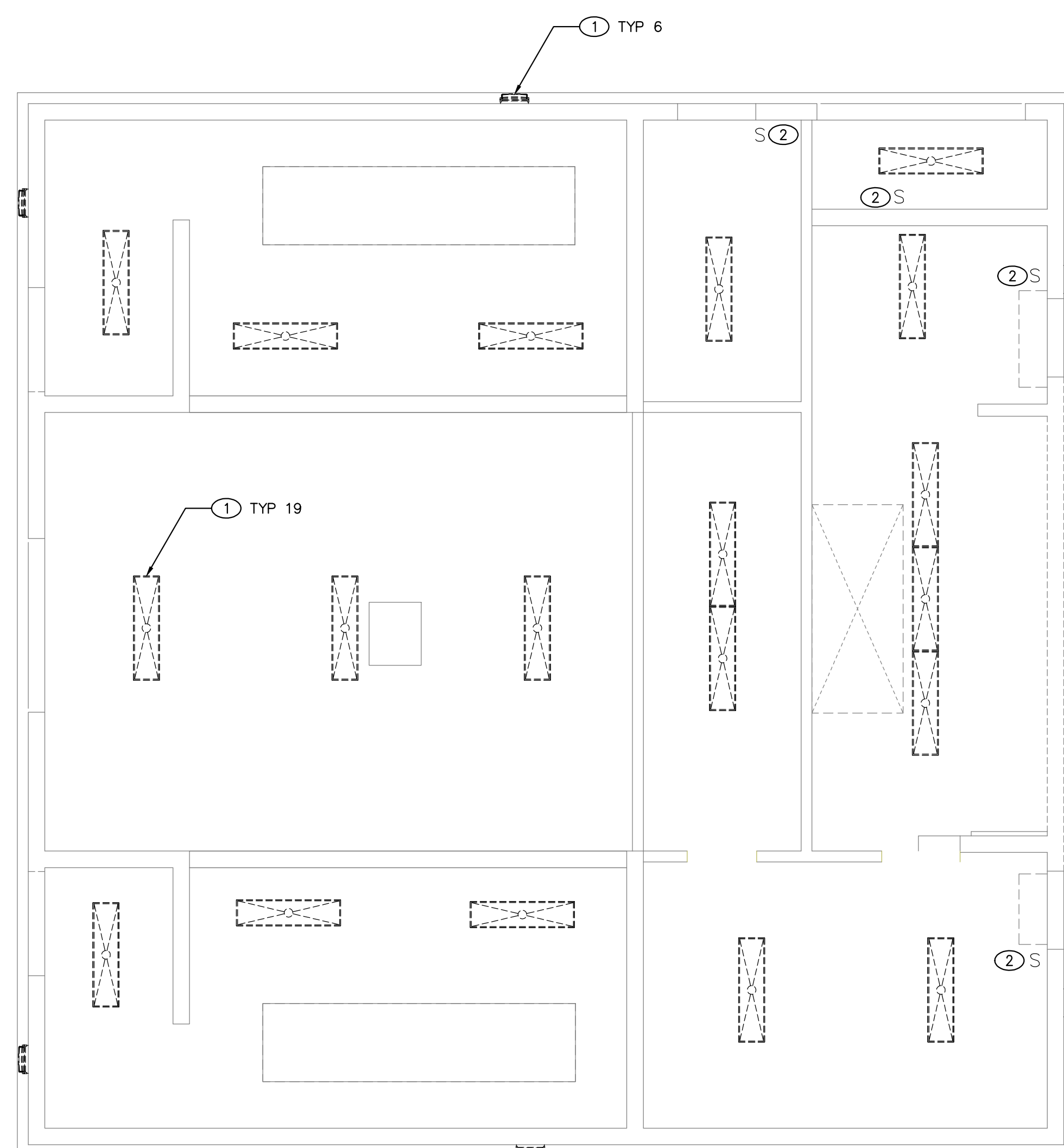
Detailed floor plan of the second floor, showing various rooms and their associated equipment. The plan includes a central corridor (A-4) with multiple exits (A-3, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12). Rooms include: MEN'S (103), WOMEN'S (101), MAINTENANCE (102), STORAGE NO. 3 (104), STORAGE NO. 2 (108), STORAGE NO. 1 (107), ELEC. VAULT (105), SNACK BAR (106), and several restrooms. Equipment is indicated by circled numbers 1 through 5. A-4 is the main corridor, and A-3, A-5, A-6, A-7, A-8, A-9, A-10, A-11, A-12 are exits.

- NOTES:**
- 1 DEMO (E) TRANSFORMER T-4 IN ELECTRICAL VAULT ROOM 105
 - 2 DEMO (E) ELECTRICAL PANELS IN SPACE; DEMO (E) CIRCUITING FROM PANELS TO POINTS OF USE UNLESS OTHERWISE NOTED
 - 3 REPLACE (E) RECEPTABLES WITH (N) RECEPTABLE AND (N) RECEPTACLE. MODIFY / EXTEND / REPAIR (E) WIRING AS NECESSARY AND PREPARE FOR RE-CIRCUITING TO (N) PANELS
 - 4 DEMO (E) RECEPTABLES AND ASSOCIATED WIRING; TYP UNLESS OTHERWISE NOTED
 - 5 DEMO (E) CIRCUITING ASSOCIATED WITH (E) EQUIPMENT, SNACK BAR APPLIANCES WINDOW AC UNIT, EXHAUST FAN, EQUIPMENT TO BE DEMOLISHED BY GENERAL CONTRACTOR



DEMOLITION POWER PLAN

SCALE: 1/4"=1'-0"

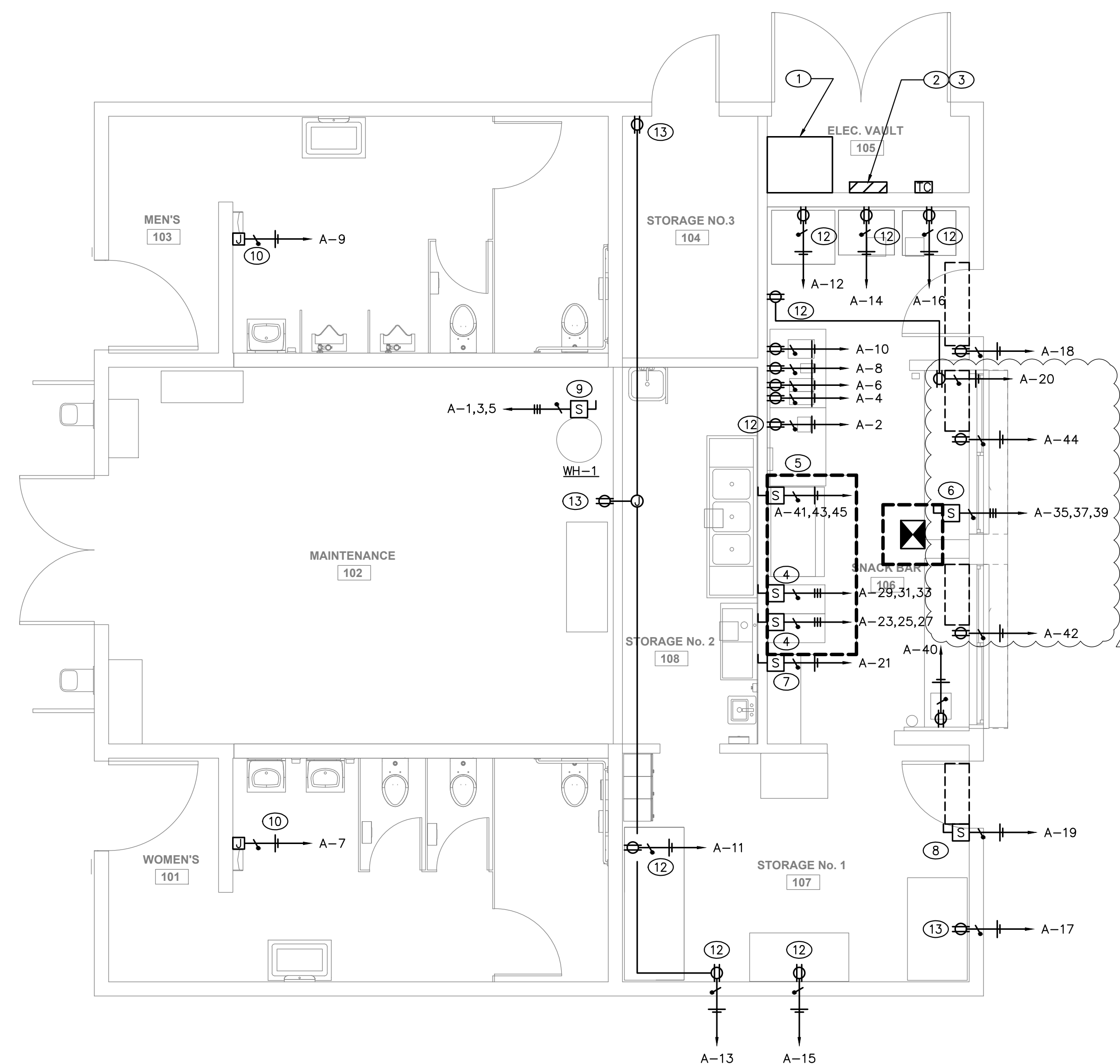


- NOTES:
- ① DEMO (E) LED LIGHT FIXTURES AND ASSOCIATED CIRCUITING WITHIN AREA OF WORK
 - ② DEMO (E) SWITCH



DEMOLITION LIGHTING PLAN

SCALE: 1/4"=1'-0"

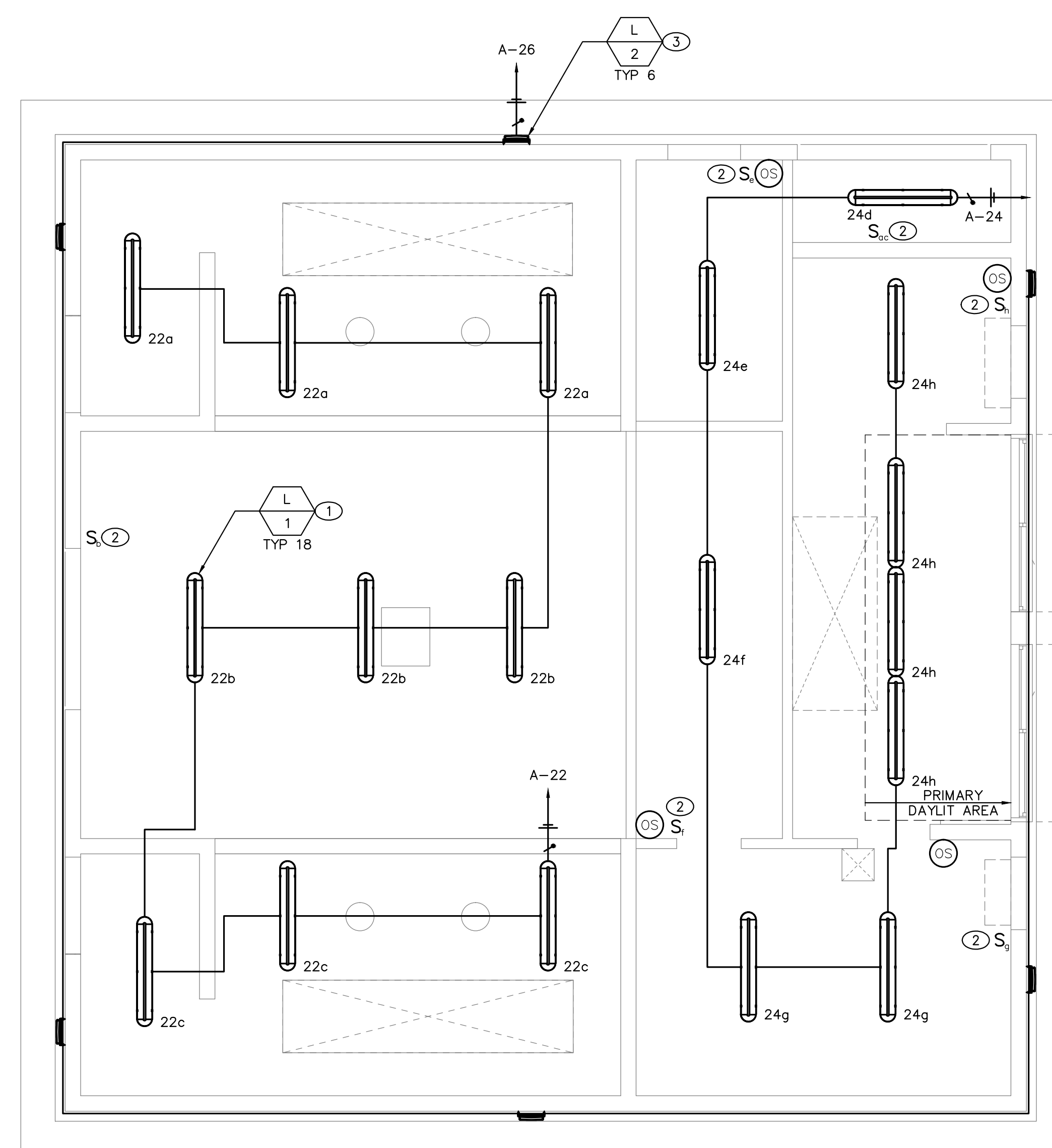


- ① PROVIDE TRANSFORMER T-1 IN ELECTRICAL VAULT ROOM 105
- ② PROVIDE (N) BREAKERS TO FEED PANELS DOWNSTREAM; PROVIDE CONDUIT, WIRING, CIRCUITING FROM ELECTRICAL SERVICE TO PANELS IN SPACE
- ③ PROVIDE (N) ELECTRICAL PANELS A IN ELECTRICAL ROOM; PROVIDE (N) CIRCUITING FROM PANELS TO POINTS OF USE
- ④ PROVIDE 3/4" CONDUIT RUN, 3#8+1#10 GND WIRING FOR ELECTRIC FRYERS FOR FUTURE INSTALLATION AFTER SERVICE DEMAND READING; TYP 2
- ⑤ PROVIDE 3/4" CONDUIT RUN, 3#8+1#10 GND WIRING FOR ELECTRIC FRYERS FOR FUTURE INSTALLATION AFTER SERVICE DEMAND READING
- ⑥ PROVIDE CIRCUITING TO (N) MAKE-UP AIR UNIT; PROVIDE 3/4" C - 3#12+1#12 GND WIRING; PROVIDE 20A SWITCH
- ⑦ PROVIDE (N) CIRCUITING TO KITCHEN HOOD; PROVIDE 20A SWITCH
- ⑧ PROVIDE CIRCUITING FOR AIR CURTAIN
- ⑨ PROVIDE (N) CIRCUITING TO (N) 10kW TANK-TYPE WATER HEATER IN MAINTENANCE ROOM; PROVIDE 3/4" C - 3#8+1#10 GND WIRING; PROVIDE 40A SWITCH
- ⑩ PROVIDE CIRCUITING FOR HAND DRYERS
- ⑪ PROVIDE (N) RECEPTACLES, ASSOCIATED CIRCUITING FOR ANCILLARIES; TYP UNLESS OTHERWISE NOTED
- ⑫ PROVIDE (N) GFCI RECEPTACLES, ASSOCIATED CIRCUITING
- ⑬ RECOUPT (E) GENERAL RECEPTACES TO (N) PANELS; ADMIN / MODIFY (E) CONDUITS, WIRES AS NECESSARY



RENOVATION POWER PLAN

SCALE: 1/4"=1'-0"



- NOTES:
- ① NEW LED LIGHT FIXTURES; INSTALL NEW CONDUIT, WIRE, AND CIRCUIT
 - ② NEW SWITCH WITH OCCUPANCY SENSOR AS IDENTIFIED HEREIN
 - ③ PROVIDE (N) EXTERIOR LIGHT FIXTURES AND ASSOCIATED CIRCUITING

**DAYLIGHT CONTROL
NOT REQUIRED FOR
ROOMS WITH LESS
THAN 120 WATTS
CUMMULATIVELY IN
PRIMARY DAYLIT AREA
AND SECONDARY
DAYLIT AREA**



RENOVATION LIGHTING PLAN

SCALE: 1/4"=1'-0"

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STATE OF CALIFORNIA
Indoor Lighting
CERTIFICATE OF COMPLIANCE
This document is used to demonstrate compliance with requirements in 110.9, 110.12(c), 130.6, 140.6 and 141.0(b)(2) for indoor lighting systems using the prescriptive path for nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 160.5, 170.2(e) and 180.2(b)(4) for indoor lighting systems using the prescriptive path for multifamily occupancies. Multifamily includes dormitory and senior living facilities.
Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 1 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
A. GENERAL INFORMATION
01 Project Location (City): Camarillo
02 Estimated Area (ft²): 1,408
03 Occupancy Types Within Project (select all that apply):
All Other Occupancies
B. PROJECT SCOPE
This table includes any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.6 / 170.2(e) or 141.0(b)(2) / 180.2(b)(4) for alterations.
Scope of Work
01 02 03 04 05
My Project Consists of (check all that apply):
New Lighting System
New Lighting System - Parking Garage
Altered Lighting System
Total Area of Work (ft²): 1408
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

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Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 5 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS
104, 107, 108 - Storage Rooms
106 - Snack Bar
TOTALS: 1,408
J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM
This section does not apply to this project.
K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE
This section does not apply to this project.
L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY
This section does not apply to this project.
M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING
This section does not apply to this project.
N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED DECORATIVE / SPECIAL EFFECTS
This section does not apply to this project.
O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE
This section does not apply to this project.
P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))
This section does not apply to this project.
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
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Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 2 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
C. COMPLIANCE RESULTS
If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D, for guidance.
Lighting in conditioned and unconditioned spaces must not be combined for compliance per 140.6(b)(1) / 170.2(e)(1).
01 02 03 04 05 06 07 08 09
Complete Building 140.6(c) 140.6(c)(2) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4)
Total Allowed (Watts) 140.6(c) 140.6(c)(2) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4)
Total Adjusted (Watts) 140.6(c) 140.6(c)(2) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4) 170.2(e)(4)
Compliance Results 05 must be >= 08 140.6 / 170.2(e)
Conditioned 794.95 794.95 794.95 794.95 794.95 794.95 794.95 794.95 794.95
Unconditioned 794.95 794.95 794.95 794.95 794.95 794.95 794.95 794.95 794.95
Control Compliance (See Table H for Details) COMPLIES
Rated Power Reduction Compliance (See Table Q for Details) COMPLIES
D. EXCEPTIONAL CONDITIONS
This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.
E. ADDITIONAL REMARKS
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

STATE OF CALIFORNIA
Indoor Lighting
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Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 6 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
Q. RATED POWER REDUCTION COMPLIANCE FOR ONE-FOR-ONE ALTERATIONS
This section does not apply to this project.
R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS
This section does not apply to this project.
S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF)
This section does not apply to this project.
T. DWELLING UNIT LIGHTING
This section does not apply to this project.
U. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Selections have been made based on information provided in this document. If any selections have been changed by permit applicant, an explanation should be included in Table E, Additional Remarks. These documents must be provided to the building inspector during construction and can be found online.
Form/Title
NRCC-171-E - Must be submitted for all buildings
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

STATE OF CALIFORNIA
Indoor Lighting
CERTIFICATE OF COMPLIANCE
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Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 3 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
F. INDOOR LIGHTING FIXTURE SCHEDULE
This table includes all planned permanent and portable lighting other than dwelling units/ hotel/ motel room lighting. Multifamily dwelling unit and hotel/motel room lighting is documented in Table I. If using Table I to document lighting in multifamily common use areas providing shared provisions for living, eating, cooking or sanitation, those luminaires are not included here.
Designed Wattage: Unconditioned Spaces
01 02 03 04 05 06 07 08 09 10
Name or Item Tag Complete Luminaire Description Modular (Track) Fixture Small Aperture & Color Change L Watts per luminaire? How is Wattage determined Total Number of Luminaires Excluded per 140.6(a)(3) / 170.2(e)(2) Design Watts Pass Fail
L-1 4' Surface Mounted Linear LED No NA 33 Mfr. Spec 18 No 594
Total Designed Watts: UNCONDITIONED SPACES 594
FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per 140.6(a)(4) / 170.2(e)(2) is adjusted to be 75%/80% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05.
*Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b). Wattage used must be the maximum rated for the luminaire, not the lamp.
G. MODULAR LIGHTING SYSTEMS
This section does not apply to this project.
H. INDOOR LIGHTING CONTROLS (Not including PAFs)
This table includes lighting controls for conditioned and unconditioned spaces.
Building Level Controls
01 02 03
Mandatory Demand Response 110.12(c) Shut-off controls 130.3(c) / 160.5(b)(4) Field Inspector
NA < 4,000W subject to multilevel See Area/Space Level Controls Pass Fail
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

STATE OF CALIFORNIA
Indoor Lighting
CERTIFICATE OF COMPLIANCE
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Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 7 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

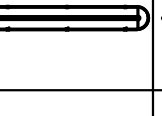
CALIFORNIA ENERGY COMMISSION
NRCC-171-E
V. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
Selections have been made based on information provided in this document. If any selections have been changed by the permit applicant, an explanation should be included in Table E, Additional Remarks. These documents must be provided to the building inspector during construction and any with "A" in the form name must be completed through an Acceptance Test Technician Certification Provider (ATCP). For more information visit: <http://www.energy.ca.gov/title24/atcp/providers.html>
Form/Title
Systems/Spaces To Be Field Verified
101, 103 - Men's, Women's Restroom; 104, 107, 108 - Storage Rooms; 106 - Snack Bar
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

STATE OF CALIFORNIA
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Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 4 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
H. INDOOR LIGHTING CONTROLS (Not including PAFs)
Area Level Controls
04 05 06 07 08 09 10 11 12
Area Description Complete Building or Area Category Primary Function Area Manual Area Controls 130.3(a) / 160.5(b)(4) Multi-Level Controls 130.3(a) / 160.5(b)(4) Shut-Off Controls 130.3(c) / 160.5(b)(4) Primary/Secondary Daylighting 130.3(d) / 160.5(b)(4) Secondary Daylighting Systems 130.3(d) / 160.5(b)(4) Interlocked Systems 130.3(d) / 160.5(b)(4) Field Inspector
101, 103 - Men's, Women's Restroom Restroom Readily Accessible NA: Restrooms Occupancy Sensor NA: Not daylight zone NA: Not daylight zone No Pass Fail
102, 105 - Maintenance, Electrical Room All Other Space Types Readily Accessible NA: General Elec. equip. rm NA: General Elec. equip. rm No No No
104, 107, 108 - Storage Rooms All Other Space Types Readily Accessible NA: General Elec. equip. rm NA: General Elec. equip. rm No No No
106 - Snack Bar Kitchen/ Food Preparation Readily Accessible NA: General Elec. equip. rm NA: General Elec. equip. rm No No No
13
Plan Sheet Showing Daylit Zones:
I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS
Each area complying using the Complete Building or Area Category Methods per 140.6(a) are included in this table. Column 06 indicates if additional lighting power allowances per 140.6(c) or adjustments per 140.6(a) are being used.
Unconditioned Spaces
01 02 03 04 05 06
Area Description Complete Building or Area Category Primary Function Area Allowed Density (W/ft²) Area (ft²) Allowed Wattage (Watts) Additional Allowance / Adjustment PAF
101, 103 - Men's, Women's Restroom Restroom 0.65 454 295.1 No No
102, 105 - Maintenance, Electrical Room All Other Space Types 0.4 411 264.4 No No
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
Report Generated: 2026-02-24 16:50:17

STATE OF CALIFORNIA
Indoor Lighting
CERTIFICATE OF COMPLIANCE
This document is used to demonstrate compliance with requirements in 110.9, 110.12(c), 130.6, 140.6 and 141.0(b)(2) for indoor lighting systems using the prescriptive path for nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 160.5, 170.2(e) and 180.2(b)(4) for indoor lighting systems using the prescriptive path for multifamily occupancies. Multifamily includes dormitory and senior living facilities.
Project Name: Camarillo Snack Bar Renovation - Freedom Park
Project Address: 275 EAST PLEASANT VALLEY ROAD, CAMARILLO CA 93010
Report Page: (Page 8 of 8)
Date Prepared: 2026-02-24T19:52:14-08:00

CALIFORNIA ENERGY COMMISSION
NRCC-171-E
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.
Documentation Author Name: Kevin Friedman
Signature Date: 2026-04-24
Company: ENGINEERING - DESIGN - ANALYSIS, INCORPORATED
Address: 10061 TALBERT AVENUE SUITE 300
City/State: TOLSON VALLEY CA 92008
Phone: (714) 913-8393
RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the seal of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
3. The design, nature and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of the 2022, Part 1 and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance will be made available with the documentation the building provides to the building owner at occupancy.
Responsible Designer Name: LOK, NO
Company: BOA ARCHITECTURE
Address: 512 REDONDO AVENUE
City/State: LONG BEACH CA 90814
Signature Date: 2026-04-24
Phone: (562) 919-7900
Generated Date/Time: Documentation Software: Energy Code Ace
CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance
Report Version: 2022.0.000
Schema Version: rev 20220101
Compliance ID: 381133-0226-0002
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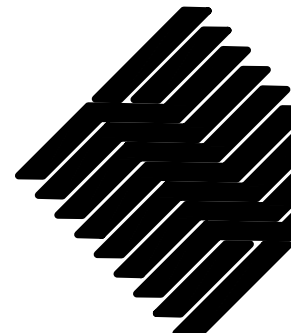
LIGHTING FIXTURE SCHEDULE									
SYMBOL	TYPE	DESCRIPTION	TOTAL V-A	LAMP			V/PH	BALLAST	REMARKS
				NO.	V-A	TYPE			
	L 1	LITHONIA 54" LINEAR CEILING MOUNT LED VAP-4800LM-FST-MD-MVOLT-GZ 10-35K-80CRI	33	1	33	LED	120/1	STANDARD	SURFACE MOUNT
	L 2	LITHONIA VANDAL RESISTANT LED WALL TRACK TMPX2-LED-ALO-40K-MVOLT-DBDXX	54	1	54	LED	120/1	STANDARD	SURFACE MOUNT
NOTES: 1. ALL FIXTURE BALLASTS SHALL BE U.L. APPROVED AND CERTIFIED PER CEC 2-5314 (b). 2. ALL MOUNTING HEIGHTS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS. 3. EXIT SIGNS SHALL NOT BE USED AS JUNCTION BOXES. 4. GENERAL LIGHTING OVERRIDE SWITCH SHALL OPERATE FOR A MAXIMUM OF 2 HOURS. 5. ALL LIGHTING CONTROL EQUIPMENT SHALL BE APPROVED BY THE CALIFORNIA ENERGY COMMISSION AND BE LISTED IN THE APPLIANCE EFFICIENCY DATABASE. (TO INCLUDE TIMECLOCKS, PHOTOSENSORS ETC.)									

LIGHTING FIXTURE SCHEDULE

TITLE 24

Architecture
Interiors
Planning

BOA



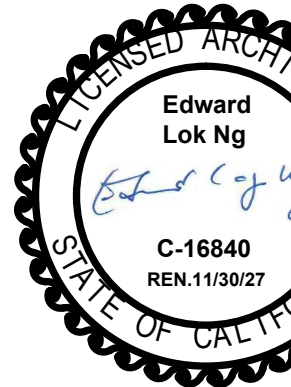
FREEDOM PARK
RESTROOM AND
SNACK BAR BUILDING
ACCESSIBILITY
IMPROVEMENTS

1511 Cota Ave. Long Beach, CA 90813 Tel. 562-912-7900

DATE	1/17/2026
BY	BOA
FOR	BOA
REVISION	NO

Designer:	LA
CAD Draft:	RM
Architect:	Lok
Engineer:	Lok
Client:	PVPP
Date Issue:	2-4-2026
Job Number:	3153

Client:	
Consultant:	



TITLE 24

E3.0